

Department of Buildings of The City of New York.

B400

THOMAS J. BRADY,

President of the Board of Buildings and
Commissioner of Buildings for the Bor-
oughs of Manhattan and The Bronx.

Office, No. 220 Fourth Avenue, S. W. cor. 18th Street,
Borough of Manhattan.

JOHN GUILFOYLE,

Commissioner of Buildings for
the Borough of Brooklyn.

Office, Borough Hall, Borough of Brooklyn.

DANIEL CAMPBELL,

Commissioner of Buildings for the Bor-
oughs of Queens and Richmond.

Office, Richmond Building, New Brighton, Staten Island,
Borough of Richmond.

Branch Office, Town Hall, Jamaica, Long Island,
Borough of Queens.

7

Plan No. 202

APPLICATION FOR ERECTION OF BRICK BUILDINGS.

Application is hereby made to the Commissioner of Buildings of The City of New York, for the Borough of Manhattan for the approval of the detailed statement of the specifications and plans herewith submitted, for the erection of the building herein described. All provisions of the Building Code shall be complied with in the erection of said building whether specified herein or not.

(Sign here)

Ballentine & Sons

THE CITY OF NEW YORK,

BOROUGH OF

Manhattan

May 2nd

1902.

1. State how many buildings to be erected One with stair tower and Extension
2. What is the exact location thereof? (State on what street or avenue; the side thereof, the number of feet from the nearest street or avenue, and the name thereof) Corner of Third Avenue and East 12th Street being on N.E. Corner
3. Will the building be erected on the front or rear of lot? Entire lot not now occupied.
4. How to be occupied? Factory If for dwelling, state the number of families in each house _____
5. Size of lot? 77'-11" feet front; 77'-11" feet rear; 100'-4" feet deep.
Give diagram of same.
6. Size of building? 25'-11" feet front; 77'-11" feet rear; 100'-4" feet deep.
Size of extension? 45'-4" feet front; 45'-4" feet rear; 100'-4" feet deep.
Number of stories in height: main building? 5 Extension? Basement only
Height from curb level to highest point: main building? 60' feet. Extension? 5' feet.
7. What is the character of the ground: rock, clay, sand, etc.? Compact loam
8. Will the foundation be laid on earth, rock, timber or piles? earth
9. Will there be a cellar? Yes
10. What will be the base, stone or concrete? Concrete If base stones, give size and thickness, and how laid _____ If concrete, give thickness 12" thick
11. What will be the depth of foundation walls below curb level or surface of ground? 12 feet
12. Of what will foundation walls be built? Brick
13. Give thickness of foundation walls: front, 24" inches; sides, 24" x 20" inches; rear, 20" inches; party, _____ inches.
14. Will interior supports be brick partition walls or piers, iron columns or wooden posts? Iron Columns
Give size of same 7" dia 3/4" Metal
15. If piers, give thickness of cap stones or plates _____ bond plates _____

16. Give base course, width and thickness. _____
 17. Will any part of front, side or rear wall, be supported on piers in cellar? No
 Give size: front _____ size of base course _____
 rear _____ " " " _____
 side _____ " " " _____
 Size of cap stones _____ size of bond stones _____

18. Of what materials will the upper walls be constructed? Brick
 What will be thickness of upper walls, exclusive of ashlar, if any?
 Basement: front 20" inches; rear 20" inches; side 24x20 inches; party _____ inches.
 1st story: " 16 " " 16 " " 20x16 " " _____ "
 2d story: " do " " do " " do " " _____ "
 3d story: " do " " do " " do " " _____ "
 4th story: " do " " do " " do " " _____ "
 5th story: " 12 " " 12 " " 16x12 " " _____ "
 6th story: " _____ " " _____ " " _____ " " _____ "
 7th story: " _____ " " _____ " " _____ " " _____ "

19. What will be the materials of the front Brick with Brown Stone Facing of stone, what kind? _____ If ashlar, give thickness _____

20. Will flues be lined with pipe or have 8 inches of brick around the same? _____

21. Will any exterior or interior wall be supported on iron or steel girders?
 Front, size _____; weight or thickness _____
 Side, " _____ " " _____
 Rear, " _____ " " _____
 Interior, " _____ " " _____
 Front, " _____ " " _____
 Side, " _____ " " _____
 Rear, " _____ " " _____
 Interior, " _____ " " _____

22. Give size of columns, posts or girders to support floors.
 Cellar, material C.I.; size 7" dia 3/4"; distance on centres 14'-0"
 1st story, " _____ " 6" x 3/4 " " do
 2d story, " Y.P. " 10x10 " " do
 3d story, " _____ " 9x9 " " do
 4th story, " _____ " 8x8 " " do
 5th story, " _____ " 6x6 " " do

23. Give material, size and distance on centres of floor beams.
 1st tier, material Steel; size 6"x12²⁵ I; distance on centres 3'-6"
 2d tier, " Y.P. " 6"x12 " " 7'-0"
 3d tier, " do " do " " do
 4th tier, " do " do " " do
 5th tier, " do " do " " do
 6th tier, " _____ " _____ " " _____
 7th tier, " _____ " _____ " " _____
 8th tier, " _____ " _____ " " _____
 9th tier, " do " 4x12 " " 7'-0"

Construction of floor filling: flooring to be of 3" splined plank
hed floor.

25. Is the building to be fire proofed? Partly
26. Of what material will partitions be built? None
27. What will be the material of roofing? Splined Plank with Tar and Gravel Roof Will roof be flat, peak or mansard? Flat
28. What will be the material of dumb waiter shafts? None
29. What will be the material of elevator shafts? None
30. What will be the material of bay windows? None
31. What kind of fire escape will be provided? Fire Proof Stairs and 4 fire escapes in adjoining buildings connected with this building.
32. Give size of vent shafts to water closet apartments Outside windows; and of what material constructed Fire Proof
33. Will access to roof be by scuttle or bulkhead? Bulkhead If by bulkhead, how constructed? Fire Proof Stairs and Silled Bulkhead
34. With what material will walls be coped? Front Galv. Iron Cornice. Side do. near
35. How will building be heated? Steam
36. Is there any building already erected on lot? Yes If so, and the same is to remain, state how occupied? Now as Tenement to be immediately altered for Factory use. Size 152' x 65'
- Number of feet between buildings? None
37. Are any buildings to be taken down? Yes; how many? One
38. What is the estimated cost of each building, exclusive of lot? \$ 44000.
- What is the estimated cost of all the buildings, exclusive of lots? \$

If the Building is to be occupied as a Flat, Apartment, Tenement or Lodging House, give the following particulars :

39. State what per centum of lot is to be occupied?
40. How many feet open space will remain between building and rear line of lot?
41. Is any part of building to be used as a store or for any other business purpose, if so, state for what?

	Cellar	Base-ment	1st Floor	2d Floor	3d Floor	4th Floor	5th Floor	6th Floor	7th Floor
42. How many families will occupy each?									
43. Height of ceilings?									
44. Number of living rooms opening on shafts and courts?									
45. Number of living rooms opening on street and yard?									

46. How basement to be occupied? Height of basement ceiling above sidewalk?
- How lighted and ventilated?
- How made water-tight?
47. Will cellar or basement ceiling be plastered? How?
48. How will cellar stairs be enclosed?
49. How cellar to be occupied? Height of cellar ceiling above sidewalk?
- How lighted and ventilated?
- How made water-tight?
50. Give number of light and vent shafts
- State materials to be used in their construction

near street copying

51. Will shafts be open or covered with louvre skylights full size of shafts? _____

 Size of each shaft? _____

52. Dimensions of windows for living rooms? _____
53. What doors will have fan lights? _____
 Dimensions of same? _____
54. Of what materials will hall partitions be constructed? _____

55. Of what materials will hall floors be constructed? _____

56. How will hall ceilings and soffits of stairs be plastered? _____
57. How will halls be lighted and ventilated? _____
58. Of what material will stairways be constructed? _____

59. If any other building on lot, give size: front _____; rear _____; deep _____;
 stories high _____; how occupied _____; on front or rear
 of lot _____; material _____.
 How much space between it and proposed building? _____
60. How will floors and sides of water closets to the height of 16 inches be made waterproof? _____

61. Number and location of water closets: Cellar _____; 1st floor _____; 2d floor _____;
 3d floor _____; 4th floor _____; 5th floor _____; 6th floor _____;
 7th floor _____.
62. Total area of shafts over 25 square feet? _____ Of courts? _____

Owner, Iron Directory Printing & Book Binding Co. Address, 205 East Tenth Street
 Architect, Ballantine Evans " 20 Nassau Street.
 Superintendent, _____ " _____
 Mason, _____ " _____
 Carpenter, _____ " _____

If a Wall, or Part of a Wall already built is to be used, fill up the following:

THE CITY OF NEW YORK,

BOROUGH OF _____ 190

The undersigned gives notice that _____ intend to use the _____ wall of building

as party wall in the erection of the building hereinbefore described, and respectfully requests that the same be examined and a permit granted therefor. The foundation wall _____ built of _____ inches thick, _____ feet below curb; the upper wall _____ built of _____ inches thick, _____ feet deep, _____ feet in height.

(Sign here) _____

Bureau Department of Buildings of The City of New York.

PLAN No. 203 W.B. of 190 2

State and City of New York, }
County of _____ } ss.:

Myron E. Evans

being duly sworn, deposes and says: That he resides at Number 111 Fisher Avenue
in the Borough of _____

in The City of White Plains, in the County of Westchester,

in the State of New York, that he is Member of the Firm of Ballantyne
and Evans Architects and Engineers for Iron Directory Printing & Book Binding Co

owns in leasehold under lease from the Trustees of the Hamilton Fish Estate

~~owner in fee~~ of all that certain lot, piece or parcel of land, shown on the diagram annexed hereto and
made a part hereof, situate, lying and being in the Borough of Manhattan

in The City of New York, aforesaid, and known and designated as Number #87, #89, #91

Third Avenue, and hereinafter more particularly described;

that the work proposed to be done upon the said premises, in accordance with the accompanying
detailed statement in writing of the specifications and plans of such proposed work, to wit: Plan

No. _____ of 190 _____, is duly authorized to be performed by

~~said architects Iron Directory Printing & Book Binding Co~~
and that said architects Ballantyne and Evans

are duly authorized by Iron Directory Printing & Book Binding Co.

to make application in compliance with Chapter 378 of the Laws of 1897, and the Building Code, for
the approval of such detailed statement of specifications and plans in their

behalf.

Deponent further says that the full names and residences, street and number, of the owner or
owners of the said land, and also of every person interested in said building or proposed building,
structure, or proposed structure, premises, wall, platform, staging or flooring, either as owner, lessee,
or in any representative capacity, are as follows:

Iron Directory Printing & Book Binding Co 205, 207, 209, 211, 213 East 12th St.
as Owners of the leasehold.

Nicholas Fish No. 4th Floor National Park Building 214 Broadway
as Trustee under will of Hamilton Fish, Deceased, Owner

Hamilton Fish No. 4th Floor National Park Building 214 Broadway
as Trustee under will of Hamilton Fish, Deceased, Owner

Shuyresant Fish No. 4th Floor National Park Building 214 Broadway
as Trustee under will of Hamilton Fish, Deceased Owner

Sidney Webster No. 4th Floor National Park Building 214 Broadway
as Trustee under will of Hamilton Fish, Deceased, Owner.

The said land and premises above referred to, are situate at, bounded and described as follows,

viz :

BEGINNING at a point on the east side of Third Avenue side of

....., distant.....feet
North East from the corner formed by the intersection of
Third Avenue and 12th Street
N. E. Corner running thence north 77¹/₂ 11" feet;
thence east 100¹/₂ 4" feet;
thence south 77¹/₂ 11" feet;
thence west 100¹/₂ 4" feet
to the point or place of beginning.

Sworn to before me, this 2
day of May 1902

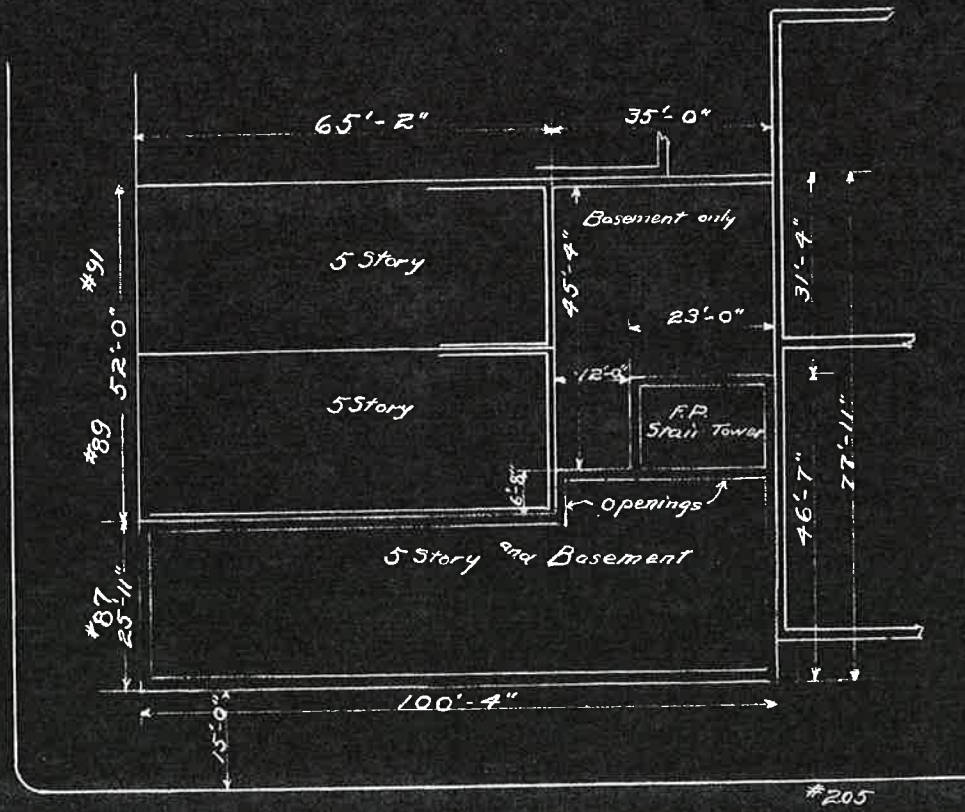
Myron E. Evans

E. J. Carroll
Notary Public,
City of New York

Notary Public,.....County.

BOF EF Mc Mr Ar I = I Re Refer 57 Retu 5-11 2-11 3-7 3-5

Third Avenue



East 12th Street.

OW D.P. & B. CO.
NEW YORK.

BALLANTYNE & EVANS.
ARCHITECTS AND ENGINEERS.
RONASSAUST, N.Y.

M.C.E.

EFH-4/10.02.

9.8.1.

HS

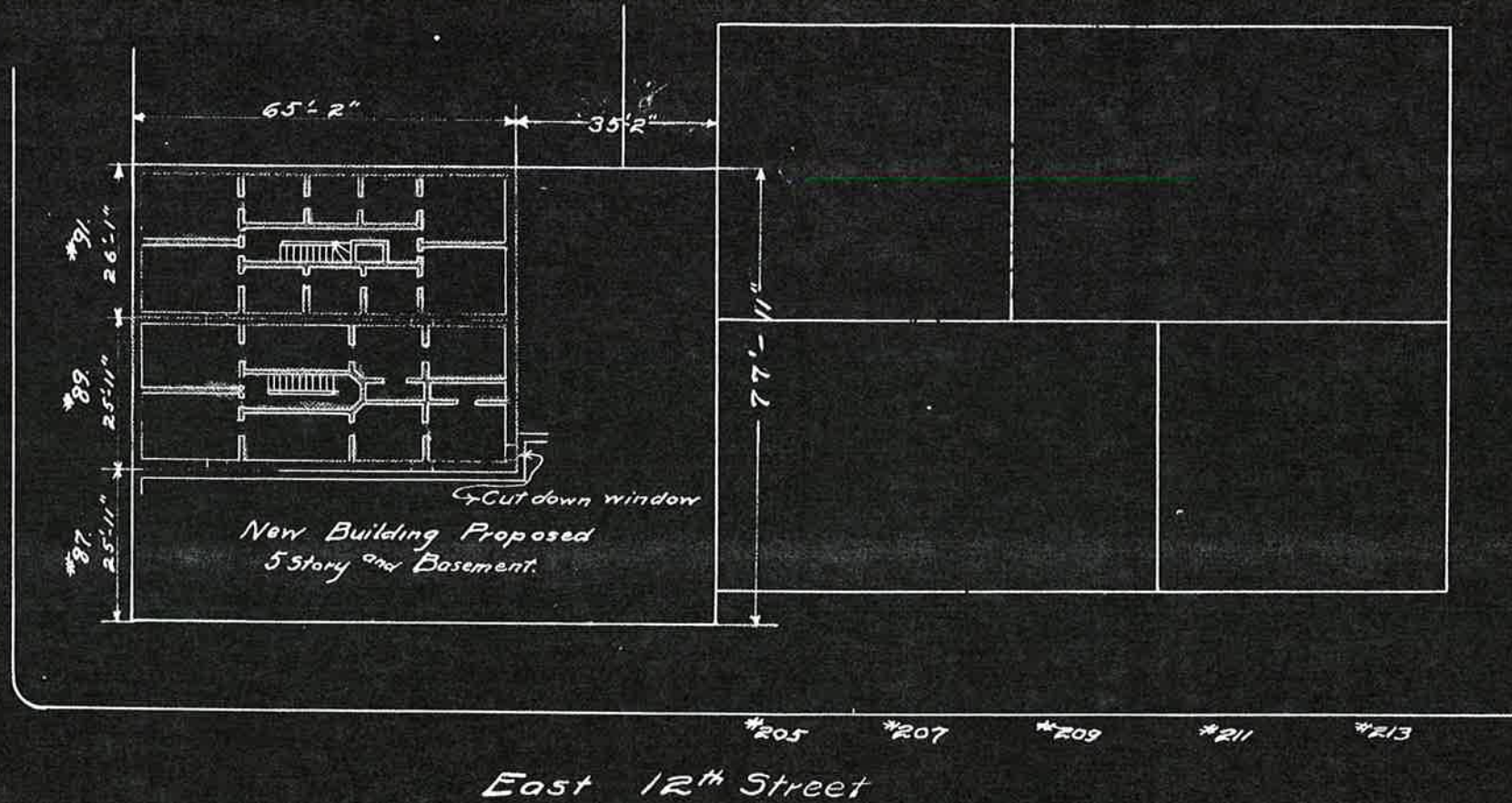
General Lay-out of Plant of the Trow D.P. & B. Co.

Showing Buildings which it is proposed to alter

*89 Third Ave. 5 Story and Cellar

*91 " " " " " "

Third Avenue



9.8.A.1.

the
ner of I
cdg. Manhattan a
Office, No. 220 Fourth Avenue, S. cor. 18th Street,
Borough of Manhattan.

JOHN G
Commi.
the Borough of
Office, Borough Hall, Borough of b.

DANIEL CAMPBELL,
Commissioner of Building,
oughs of Queens and Richr
Office, Richmond Building, New Brighton, State
Borough of Richmond.
Branch Office, Town Hall, Jamaica, Long Island,
Borough of Queens.

" Borough of Manhattan

The City of New York, May 17th 1902 190

Amendment to Application No. 263 N. B. B, 1902.

Location North East Corner Third Avenue and East Twelfth Street.

✓ Objection No. 1. We respectfully request that this objection be waived as the building will be provided with fire proof stairs and will connect to the two buildings (application #601 Alt.) which will be provided with two stairs. Thus providing three stairs for 7500 square feet of floor.

✓ Objection No. 2. The east side of the boiler room adjoins property belonging to the same owner, and we respectfully request that this objection be waived.

✓ Objection No. 3. Roof beams 7" x 15[#] I's. 5 ft. centre to centre.

Objection No. 4. Columns checked amended hereby in

Basement	7" x 1" metal
1st Story	6" x 7/8" metal
2nd "	12 x 12 Y. P.
3rd "	10 x 10 "

✓ Objection No. 5. We respectfully request that this objection be waived in consideration of the wall being laid up in cement mortar.

✓ Objection No. 6. Cast Iron Columns in front eight by twenty inches in section with sides reinforced by 1" offsets and of 3/4 inch metal.

✓ Objection No. 7. This building will connect with #89 Third Avenue now provided with fire escapes and with #208 East Twelfth Street also provided with fire escapes.

We would amend by putting in a window at the South East corner connecting direct to present fire escape which will also be extended along the offset wall of the building.

✓ Objection No. 8. We would amend footings to spread 4'-6" x 4'-6" .

✓ Objection No. 9. We will lay this pier in cement mortar, and request that this objection be waived in consideration thereof.

Ballantyne & Co.

Applicant must indicate the Building Line or Lines clearly and distinctly on the Drawings.

Office of the Borough President of the Borough of Manhattan, In The City of New York.

B 433
L 2

THE BUREAU OF BUILDINGS FOR THE BOROUGH OF MANHATTAN
Office, No. 220 FOURTH AVENUE,
S. W. Corner 18th Street.

Plan No.....661...

APPLICATION TO ALTER, REPAIR, ETC.

Application is hereby made to the Superintendent of Buildings of The City of New York for the Borough of Manhattan for the approval of the detailed statement of the specifications and plans herewith submitted for the alteration or repair of the building herein described. All provisions of the law shall be complied with in the alteration or repair of said building whether specified herein or not.

B 433
L 1

(Sign here) Ballantyne - Evans

THE CITY OF NEW YORK,

BOROUGH OF MANHATTAN,

May 9 1902

LOCATION AND DESCRIPTION OF PRESENT BUILDING.

- 1. State how many buildings to be altered? Two
2. What is the exact location thereof? On Third Avenue East side thereof 25'-11" north from East Twelfth Street
3. How was the building occupied? Tenement
How is the building to be occupied? Office and light manufacturing
4. Is the building on front or rear of lot? Front
Is there any other building erected on lot or permit granted for one? Permit applied for Sea application height #283 New Bldg.
How occupied? Boiler house & Stair Tower... Give distance between same and proposed building adjacent... feet.
5. Size of lot? 52' feet front; 52' feet rear; 100'-4" feet deep.
6. Size of building which it is proposed to alter or repair? 2 each 26 feet front; 26 feet rear; 65' feet deep. Number of stories in height? 3! Height from curb level to highest point? 62 feet.
7. Depth of foundation walls below curb level? 12 feet. Material of foundation walls compact loam
Thickness of foundation walls? front Piers (irregular) inches; rear 20 inches; side 20" and 16" inches; party 20" inches.
8. Material of upper walls? Brick
If ashlar, give kind and thickness. Face of Brown Stone and Ohio Sand Stone 4"

9. Thickness of upper walls:

Basement:	front.....inches;	rear.....inches;	side.....inches;	party.....inches.
1st story:	" None..... "	" ..12"..... "	" ..12"..... "	" ..12"..... "
2d story:	" ..16"..... "	" "	" "	" "
3d story:	" ..16"..... "	" "	" "	" "
4th story:	" ..16"..... "	" "	" "	" "
5th story:	" ..16"..... "	" "	" "	" "
6th story:	" "	" "	" "	" "

10. Is roof flat, peak or mansard?.....Flat.....

11. Size of present extension, if any?.....feet front;.....feet deep;.....feet high.

12. Thickness and material of foundation walls?.....

13. Material of upper walls?..... If ashlar, give kind and thickness.....

14. Thickness of upper walls:

Basement:	front.....inches;	rear.....inches;	side.....inches;	party.....inches.
1st story:	" "	" "	" "	" "
2d story:	" "	" "	" "	" "
3d story:	" "	" "	" "	" "
4th story:	" "	" "	" "	" "

15. Is present building provided with a fire escape?.....Yes (Two).....

If to be extended on any side, give the following information:

16. Is extension to be on side, front or rear?.....

17. Size of proposed extension, feet front.....; feet rear.....; feet deep.....; number of stories in height?.....; number of feet in height?.....

18. Material of foundation walls?.....; depth.....feet; material of base course.....; thickness of base course.....; thickness of foundation walls: front.....inches; side.....inches; rear.....inches; party.....inches.

19. Will foundation be on rock, sand, earth or piles?.....

20. What will be the size of piers in cellar?.....; distance on centres?.....; size of base of piers?.....; thickness of cap stones?.....; of bond stones?.....

21. Material of upper walls?.....; material of front?.....

22. Thickness, exclusive of ashlar, of upper walls:

1st story:	front.....inches;	rear.....inches;	side.....inches;	party.....inches.
2d story:	" "	" "	" "	" "
3d story:	" "	" "	" "	" "
4th story:	" "	" "	" "	" "
5th story:	" "	" "	" "	" "
6th story:	" "	" "	" "	" "

23. With what will walls be coped?
24. Will roof be flat, peak, or mansard?; material
25. Give size and material of floor and roof beams
- 1st tier, material; size; distance on centres
- 2d tier, " " " "
- 3d tier, " " " "
- 4th tier, " " " "
- 5th tier, " " " "
- Roof tier, " " " "
- Give thickness of headers of trimmers
26. Give material of girders of columns
- Under 1st tier, size of girders size of columns
- " 2d " " " " "
- " 3d " " " " "
- " 4th " " " " "
- " 5th " " " " "
- " Roof tier, " " " "
27. If front, rear or side is to be supported on columns or girders, give:
- Girders, material; front; side; rear
- size " " "
- Columns, material " " "
- size " " "
28. If constructed of frame, give material; size of sill
- plate; enterties; posts; studs
- braces
29. If open on one side, give size of plate posts
30. How will extension be occupied?
- If for dwelling, give number of families on each floor
31. How will extension be connected with main building?
32. Give size of skylights material
33. Give material of cornices
34. Give material of light shafts; size

If to be increased in height, give the following information:

35. Will building be raised from foundation, or extended on top? Give particulars
-
-
-
36. How many stories high will building be when raised?; feet high
37. Will the roof be flat, peak or mansard?; material
38. Material of coping?

39. Give material of new walls..... thickness of.....story.....inches;
story.....inches;story.....inches;story
inches;story.....inches;story.....inches;
story.....inches.
40. Material of floor beams?..... Size.....tier.....;
 centres.....;tier.....; centres.....;tier.....,
 centres.....;tier.....; centres.....;tier.....;
 centres.....
41. Material of girders?..... Size under 1st tier.....; 2d tier.....;
 3d tier.....; 4th tier.....; 5th tier.....; 6th tier.....
42. Material of columns?..... Size under 1st tier.....; 2d tier.....;
 3d tier.....; 4th tier.....; 5th tier.....; 6th tier.....
43. Size of piers in cellar.....; distance on centres.....; thickness of capstones
 to piers.....; bond stones.....
44. If constructed of frame, give material of frame.....; size of sills.....
 corner posts.....; middle posts.....; enterties.....;
 plates.....; braces.....; studs.....
45. How will building be occupied when altered?.....
 If for dwelling, state number of families on each floor
46. With what kind of fire escape will building be provided?.....

**If the Front, Rear or Side Walls, or any portion thereof, are to be taken out and rebuilt, give definite particulars,
 and state in what manner :**

47. **Front- No change except Basement Piers to be rebuilt and new iron
 front for 1st story.....
 South Side walls and Party walls - to be pierced with two doors on
 1st, 2nd, 3rd, 4th, and 5th stories to be 3'-4" x 7'-0" each... North
 Side no change..... Rear walls - basement 1 window to be changed to
 door... 1st Story 3 doors to be changed to windows, and 1 window chang-
 ed to door... 2nd, 3rd, 4th, and 5th 1 window changed to door.**

If altered Internally, give definite particulars, and state how the building will be occupied:

48. **Remove all partitions and support floors on new columns and Girders
 as fully set fourth on plans - to be occupied as offices and light
 manufacturing.....
 Extreme floor loads on 2nd, 3rd, 4th, and 5th floors 75[#] per sq. ft.
 and 100[#] on 1st floor.....**
49. How much will the alteration cost? **\$5,000.00**

Department of Buildings of The City of New York.

PLAN No. 661 of 1907.

State and City of New York, }
County of _____ } ss.:

Myron E. Evans

being duly sworn, deposes and says: That he resides at Number 111 Fisher Avenue

in the Borough of _____

in The City of White Plains, in the County of Westchester

in the State of New York, that he is member of the firm

of Ballantyne and Evans Architects for Iron Directors

of the Hamilton Fish Estate owner in leasehold under lease from Trustees of the

of all that certain lot, piece or parcel of land, shown on the diagram annexed hereto and

made a part hereof, situate, lying and being in the Borough of Manhattan

in The City of New York, aforesaid, and known and designated as Number #87 #89 #91

Ford Avenue, and hereinafter more particularly described;

that the work proposed to be done upon the said premises, in accordance with the accompanying

detailed statement in writing of the specifications and plans of such proposed work, to wit: Plan

No. _____ of 190 _____, is duly authorized to be performed by

Iron Directors Printing & Book Binding Co

and that said Architects Ballantyne & Evans

duly authorized by Iron Directors Printing & Book Binding Co.

to make application in compliance with Chapter 378 of the Laws of 1897, and the Building Code, for

the approval of such detailed statement of specifications and plans in their

behalf.

Deponent further says that the full names and residences, street and number, of the owner or owners of the said land, and also of every person interested in said building or proposed building, structure, or proposed structure, premises, wall, platform, staging or flooring, either as owner, lessee, or in any representative capacity, are as follows:

Iron Directors Printing & Book Binding Co. 205 207 209 211 213 E 12 St.

as Owners of leasehold.

Nicholas Fish No. 4th Floor Natl Park Bldg 214 Broadway

as Trustees under will of Hamilton Fish deceased. Owner.

Hamilton Fish No. 4th Floor Natl Park Bldg 214 Broadway

as Trustees under will of Hamilton Fish deceased Owner.

Thyresaut Fish No. 4th Floor Natl Park Bldg 214 Broadway

as Trustees under will of Hamilton Fish, deceased Owner.

Sidney Webster No. 4th Floor Natl Park Bldg 214 Broadway

as Trustees under will Hamilton Fish, deceased Owner.

[OVER]

The said land and premises above referred to, are situate at, bounded and described as follows,

viz.:

BEGINNING at a point on the East side of Third Avenue

, distant _____ feet

South east from the corner formed by the intersection of Third Avenue and Myrtle St.

running thence 77'-11" north feet;

thence east 100'-4" feet;

thence South 77-11" feet;

thence West 100'-4" feet

to the point or place of beginning.

Seen to before me, this 9 day of May 1902

Myron E. Evans

E. J. Karver

Notary Public, _____ County.

RECORDED IN THE OFFICE OF THE CLERK OF THE COUNTY OF JAMES

Buildings

J. BRADY,

President of the Board of Buildings and
Commissioner of Buildings for the Bor-
oughs of Manhattan and The Bronx.

Office, No. 220 Fourth Avenue, S. W. cor. 18th Street,
Borough of Manhattan.

JOHN GUILFOY,

Commissioner of Buildings for
the Borough of Brooklyn.

Office, Borough Hall, Borough of Brooklyn.

DANIEL CAMP,

Commissioner of Buildings for the Bor-
oughs of Queens and Richmond...
Office, Richmond Building, New Brighton, Staten Island,
Borough of Richmond.
Branch Office, Town Hall, Jamaica, Long Island,
Borough of Queens.

Borough of Manhattan

The City of New York, May 16th 1902 190

Amendment to Application No. 661

Alt. B, 1902

Location -

On the East Side of Third Avenue Twenty six feet north from
Twelfth Street.

Objection No. 1.

We respectfully request that this objection be waived for the
following reasons:

I. The plan contemplates the substitution of Posts and Girders
for the present partitions. These members will sustain five-eighths of
the entire floor load, in effect to reduce the load on the walls rather
than increase the same.

II. There is no intention of raising the heights of the walls.

III. The southerly wall will be reinforced by one new 16 inch
wall (application #263 N.B.) which wall is to be laid up in cement mortar.

Objection No. 2. There are two fire escapes in the rear, one for
each building connecting with each floor and provided with all appli-
ances. The same have been sketched on plan as required.

Objection No. 3. An additional stair has been provided as required.

Objection No. 4. The Cast Iron Columns for the front are to be of
the following section: eight inches by twenty inches having sides
braced by return of one inch on each side, and to be of 3/4 inch metal.

Objection No. 5. Average 16 inches.

Objection No. 6. Objection noted.

Objection No. 7. We would amend column sizes as follows:-

Basement	12 x 12	Y. P.
1st Story	12 x 12	"
2nd "	10 x 10	"
3rd "	9 x 9	"
4th "	8 x 8	"
5th "	6 x 6	"

Objection No. 8. We would amend column footings to spread 16 square
feet each column.

Ballantyne & Davis
Automatic Fire Proof Doors must be provided
for all openings
Ballantyne & Davis

BUREAU OF BUILDINGS,
Borough of Manhattan,
#220 Fourth Avenue.

New York, May 15th, 1902.
(FHD)

PK

Application #661 Alt. 1902, is disapproved, with the following objections, viz.:

1. As the occupancy of the building is being changed from a dwelling to a ware-house, the walls should be increased in thickness as required by Sections 32 and 39 of the Building Code.
2. Show fire-escapes on plans.
3. Building covers 3,000 sq. ft. and should be provided with two continuous lines of stairs. Section 75 of Code.
4. Mark sizes of cast iron columns supporting front walls, on plans.
5. State material and distances on centers of present 9" floor beams.
6. Live load must be at least 120 lbs. per sq. ft. Section 130 of Building Code.
7. Columns and girders are weak.
8. Footings under interior columns should be increased in

area.

*Direct
with office of
May 17/02*

J. H. Dewey
R. K. ...

Frederick Stewart

Superintendent of Buildings,
Borough of Manhattan.

Department of B

THOMAS J. BRADY,
President of the Board of
Commissioners of Buildings
Borough of Manhattan and The Bro...

OFFICE OF THE DEPARTMENT OF BUILDINGS
Borough of Manhattan
1902

Borough of Manhattan

The City of New York, July 3rd 1902, 190

Amendment to Application No. 661, Alt. B, 1902.

Location No's. 89 and 91 Third Avenue.

We beg to amend our application in accordance with the accompanying drawings as follows:

The old front walls are to be torn down and the new walls built as shown, on the amended drawings. The level of the cellars of #89 and 91 Third Avenue is to be carried down to the level of the new building, (#87 Third Avenue) and the old side and rear walls of #89 and 91 Third Avenue are to be underpinned and carried below the new level of the cellars as shown.

Yours Respectfully,

Ballantyne & Evans

These specifications and also the drawings submitted hereto and the same do conform to the laws of the City of New York relating to the construction of buildings.
Dated July 8th 1902
J.H. Devery

OK July 7 - 1902
R. H. Miller

The City of New York, 7/9, 1902

This is to certify that the within detailed statement of specifications and a copy of the same as aforesaid hereto, have been submitted to the Sup't. of Buildings for the Borough of Manhattan and are hereby Approved.

J.A.
Sup't. of Buildings for the Borough of Manhattan

n/107M

Department of Building

City of New York

THOMAS J. BRADY,

President of the Board of Buildings and
Commissioner of Buildings for the Bor-
oughs of Manhattan and The Bronx

Office, No. 220 Fourth Avenue, S. W. cor. 18th Street,
Borough of Manhattan

JOHN GUILFOYLE,

Commissioner of Buildings for
the Borough of Brooklyn.

Office, Borough Hall, Borough of Brooklyn.

DANIEL CAMPBELL,

Commissioner of Buildings for the Bor-
oughs of Queens and Richmond.

Office, Richmond Building, New Brighton, Staten Island,
Borough of Richmond.

Branch Office, Town Hall, Jamaica, Long Island,
Borough of Queens.

BUREAU OF BUILDINGS,
CITY OF NEW YORK
RECEIVED NOV 26 1902
FOR THE BOROUGH
OF MANHATTAN

Borough of Manhattan

The City of New York,

Nov. 14th, 1902,

190

Amendment to Application No.

~~Alt. 661 &~~ 263 N. B., 1902

Location North East Corner - Third Avenue and Twelfth Street.

Application is hereby made to amend the above plans as follows:

That the stairs leading from the fifth floor to the roof of number 89 Third Avenue be omitted, and that the parapet wall be built as per accompanying sketch -

This change from the galvanized cornice as shown on original plan to the parapet as shown above with ornamental terra cotta cap and piers is made for decorative purpose.

Respectfully submitted,

Balentine Evans
per [Signature]

*I have thoroughly examined the
plans and specifications and find the
same correct and in accordance with
the laws of the City of New York.*

Construction
Date *Nov. 28* 1902

F. H. Sewey

Alt. No. 25 - 1902

R. A. Miller

11/29/1902

[Faint official stamp and signature]

[Handwritten initials and date]
12/1/02

BUREAU OF BUILDINGS
OF THE CITY OF NEW YORK

New York, March 3rd, 1903. 189

Received MAR - 3 1903

Amendment to Application No. 189
FOR THE REAR OF
OF MANHATTAN.

N. B. 189 1903.

Location N. E. Cor. of 3rd Avenue and 12th St.

We ask for permission to put in new skylight over stairs
as shown on accompanying roof plan same to be galvanized iron or
angle iron glazed with 1/4" wire glass.

*Balantyne & Evans
By R.E.D.*

I have thoroughly examined the
within specifications and also the
drawings relating thereto and find
them to conform to the
requirements of the laws of the City of New York
relating to construction.

Dated Mar 4 1903
F. H. Dewey

Asst. Comm. of Bldgs.

R. M. ...

3/5 1903
The undersigned has examined the
drawings and specifications and
finds them to conform to the
requirements of the laws of the
City of New York relating to
construction and hereby
certifies that the same are
correct and complete.

3/6/03

alt. 2775-19

BUREAU OF BUILDINGS

BOROUGH OF MANHATTAN, CITY OF NEW YORK

NOTICE—This Application must be TYPEWRITTEN and filed in TRIPLICATE, and ONE copy sworn to by Applicant. If Elevator or Plumbing Applications are filed herewith, ONE AFFIDAVIT is sufficient for all. Plans must be filed on tracing Linen or Cloth.

Received NOV 5 - 1919

FOR THE BOROUGH OF MANHATTAN

ALT. APPLICATION No. 1919

LOCATION Nos. 87--91 Third Avenue and Nos. 201-213 East 12th St., NE. 12th St. & 3rd Avenue BLOCK 488 LOT 1-2-3-55

When properly signed by the Superintendent of Buildings of the Borough of Manhattan, this application becomes a **PERMIT** as required by the Building Code of The City of New York, to perform such work as is described in the foregoing statement and the attached plans and specifications which are a part hereof.

EXAMINED AND RECOMMENDED FOR APPROVAL ON 12/21 1919
C. A. Heister
Examiner

APPROVED 1919
Superintendent of Buildings, Borough of Manhattan

New York City, Oct. 29th 1919

TO THE SUPERINTENDENT OF BUILDINGS:

Application is hereby made for approval of the plans and specifications herewith submitted, and made a part hereof, for the **ALTERATION** of the building therein described,—with the understanding that if no work is performed within one year from the time of issuance, this approval shall expire by limitation as provided by law; and the applicant agrees to comply with all the rules and regulations of the Bureau of Buildings for the Borough of Manhattan, all provisions of the Building Code of The City of New York, and with every other provision of law relating to this subject in effect at this date.

STATE, COUNTY AND } VINCENT B. FOX, representing the firm of
CITY OF NEW YORK } ss.: WYNYCKE & FRANK Architects,
Typewrite Name of Applicant

being duly sworn, deposes and says: That he resides at Number 206 West 114th Street
in the Borough of Manhattan
in the City of New York, in the County of New York
in the State of New York, that he is a representative of the firm
of Wynicke & Franke, Architects for the
owner in fee of all that certain lot, piece or parcel of land, shown on the diagram annexed hereto and made a part hereof, situate, lying and being in the Borough of Manhattan, City of New York aforesaid, and known and designated as Number 87-91 Third Ave. 201-213 East 12th Street, NE. 12th St. & 3rd Avenue
and hereinafter more particularly described; that the work proposed to be done upon the said premises, in accordance with the accompanying detailed statement in writing of the specifications and plans of such proposed work, including all amendments to the same which may be filed hereafter—and also all Elevator and Plumbing work

(if any) proposed to be done upon the same premises and specified in separate applications filed herewith, and all subsequent amendments thereto—is duly authorized by Map Realty Co., Inc. [Name of Owner or Lessee]

and that Waynicke & Franke, Architects, are duly authorized by the aforesaid Map Realty Co., Inc. to make application for the approval of such detailed statement of specifications and plans (and amendments thereto) in its behalf.

Deponent further says that the full names and residences, street and number, of the owner or owners of the said land, and also of every person interested in said building or proposed building, structure or proposed structure, premises, wall, platform, staging or flooring, either as owner, lessee, or in any representative capacity, are as follows:

NAMES AND ADDRESSES

Owner Map Realty Co., Inc. 229 East 38th Street

J. Wm. C. Mupfel, President, 229 East 38th Street

Anton C. C. Mupfel, Vice Pres., 229 East 38th Street

Lessee _____

Architects Waynicke & Franke, 25 Madison Square North

Superintendent Waynicke & Franke, 25 Madison Square North

The said land and premises above referred to are situate at, bounded and described as follows, viz.: BEGINNING at a point on the North side of 12th Street

distant 0 feet from the corner formed by the intersection of 12th Street and 3rd Avenue running thence Westerly 225'0" feet; thence Northerly 103'3" feet; thence Westerly 125'0" feet; thence Southerly 25'9" feet; " Westerly 100'0" " Southerly 77'6" feet

to the point or place of beginning,—being designated on the map as Block No. 468 Lot No. 1-2-3-55

(SIGN HERE) Vincent B. Fox Applicant
representing Waynicke & Franke Architects

Sworn to before me, this 3rd day of October 1919
Harry J. Kelly
Public Trust Co. No. 109
Date Oct 3 1919 Title _____ Tax Dep't. _____
Dimensions and Lot and Block numbers agree with Land Map
(Signature)

ALTERATION PERMIT
BUREAU OF BUILDINGS
BOROUGH OF MANHATTAN
CITY OF NEW YORK

NOTE: All elevations and grades for curbs and sidewalks must be obtained from the Commissioner of Public Works, Municipal Building, New York City.



BUREAU OF BUILDINGS

BOROUGH OF MANHATTAN, CITY OF NEW YORK

NOTICE—This Application must be TYPEWRITTEN and filed in TRIPLICATE.
 "SPECIFICATIONS—SHEET A" [Form 152] must be filed with EVERY Alteration Application.
 "SPECIFICATIONS—SHEET B" [Form 158] must be filed, in addition, in case the building is to be raised in height or occupancy changed so as to increase floor loads, or if building is to be enlarged on one side.

ALT. APPLICATION No. 1919

LOCATION Nos. 87-91 Third Avenue & 201-213 East 12th St., N.E.C. 12th Street & 3rd Avenue

Examined 191

Examiner.

SPECIFICATIONS--SHEET A

- (1) NUMBER OF BUILDINGS TO BE ALTERED One
 Any other building on lot or permit granted for one? No.
- (2) ESTIMATED COST OF ALTERATION: \$ 20,000.-
- (3) OCCUPANCY (in detail):
 Of present building Factory
 Of building as altered Factory
- (4) SIZE OF EXISTING BUILDING:
 At street level 225'0" feet front 77'6" and 103'3" feet deep
 At typical floor level 225'0" feet front 77'6" and 103'3" feet deep
 Height 5 stories feet
- (5) SIZE OF BUILDING AS ALTERED:
 At street level 225'0" feet front 77'6" and 103'3" feet deep
 At typical floor level 225'0" feet front 77'6" and 103'3" feet deep
 Height 5 stories feet
- (6) CHARACTER OF CONSTRUCTION OF PRESENT BUILDING: Ordinary
 (Frame, Ordinary or Fireproof.)
- (7) STATE GENERALLY IN WHAT MANNER THE BUILDING WILL BE ALTERED:
1. General Repairs.
 2. Three new elevators enclosed from top to bottom in 6" T.C. partitions supported at each floor on steel frame work.
 3. New stairs to be provided in Area A and two existing stairs in Area C to be enclosed in stud partitions plastered 3/4" thick with cement mortar on wire lath. Openings in partitions to be protected with F.P.S.C. doors.
- Building is sprinkled throughout.

BUREAU OF BUILDINGS

BOROUGH OF MANHATTAN, CITY OF NEW YORK

NOTICE—This Application must be TYPEWRITTEN and filed in TRIPLICATE.

“SPECIFICATIONS—SHEET A” [Form 152] must be filed with EVERY Alteration Application.

“SPECIFICATIONS—SHEET B” [Form 158] must be filed, in addition, in case the building is to be raised in height or occupancy changed so as to increase floor loads, or if building is to be enlarged on one side.

ALT. APPLICATION No. 2975 191

LOCATION Nos. 87-91 Third Avenue, 201-213 East 12th Street

Examined.....191

Examiner

SPECIFICATIONS—SHEET B

If the building is to be raised in height or if the occupancy is changed so that the floor loads will be increased, the following information must be given as to the existing building, and the thicknesses of existing walls and size of footings must be clearly shown on the plans.

- (8) FOUNDATIONS: Character **Concrete**
 Depth below curb **11'0" average**
 Material on which they rest **Coarse Sand**
- (9) UPPER WALLS: Material **Brick**
 Kind of Mortar **Lime and Cement**
 Thickness of Ashlar (if any) **None**
- (10) PARTY WALLS: Any to be used? **No**

If building is to be enlarged or extended, the following information as to the new work must be given:

- (11) FOUNDATIONS: Character
 Depth below curb
 Material on which they rest
- (12) FOUNDATION WALLS: Material
- (13) UPPER WALLS: Material
 Kind of Mortar
 Thickness of Ashlar (if any)
- (14) PARTY WALLS: Any to be used?

In every case filed on SHEET B, the following information must be given:

(15) FLOOR CONSTRUCTION: First floor Wood joists and girders

Upper floors Wood joists and girders

(16) SAFE CARRYING CAPACITY of floors per square foot	1st Floor	2nd to 4th Flrs.	5th Flr.
87-91 Third Ave.	120	120	120
205-9 East 12th St. (Front Bldg.)	70	45	45
205-9 " " (Rear Bldg.)	120	175	175
211-13 " " (Front ")	120	120	45
(17) PARTITIONS (Material and Thickness):	120	---	---

Interior 2"x4" studs 16" o.c. 3/4 cement plaster on wire lath

Stair Halls " " " " " " " " " "

Elevators 6" T.C.Blocks

Dumbwaiters ---

(18) ROOFING (Material): Tar and Felt

(19) FIREPROOFING (Material and Thickness): None fire-proof building

Columns

Girders

Beams

(20) INTERIOR FINISH (Material): Wood

Floor Surface 87-91 Third Ave. 3" plank Other Bldgs. 2 - 7/8" floors
7/8 top floor

Trim, Sash, Doors, etc. Wood (Stair and elevators fireproofed)

(21) OUTSIDE WINDOW FRAMES AND SASH (Material): Wood (Existing)

New F.P.Windows rear building 1st floor 205-213/4

(Sign here)

Meynick & Frank
Applicant *Wm B. Fox*

Dec. 20/19

191

BUREAU OF BUILDINGS

BOROUGH OF MANHATTAN, CITY OF NEW YORK

NOTICE—This Amendment must be TYPEWRITTEN and filed in TRIPLICATE

ALT.

APPLICATION No. 2775 191 9

[N. B., ALT., ELEV., ETC.]

LOCATION ~~201-213 East 12th St. and 87-91 Third Ave., N.E.C. 3rd Ave.~~
and 12th Street

New York City Dec, 20/19 191

TO THE SUPERINTENDENT OF BUILDINGS:

Application is hereby made for approval of the following **AMENDMENT** to the specifications and plans filed with the above numbered application, with the stipulation that this amendment is to become a part of the aforesaid original application and subject to all the conditions, agreements and statements therein contained.

(Signed)

Magnus & Franke
Applicant *Wm. B. B. B.*

1. The building was erected prior to Oct. 1, 1913. Plans are on file for the 3rd Avenue wing under "N.B. 263/1902", and for the 12th Street wing under number "Alt. 357/1903".
2. Complete details showing framing for elevator shaft filed herewith. It is proposed to erect one combination passenger and freight elevator at #205, and to install a new freight elevator in the existing brick shaft, rear building #207. All structural framing is now shown, and live loads which will be posted are marked on the plans. The building is provided with two source sprinkler system but will not be provided with Interior Fire Alarm Signals as total occupancy on any one floor will not exceed 190 persons, with not more than 145 persons in the 3rd Avenue wing and remainder in the 12th St. wing, or vice versa.

Plain glass will be provided in skylights over both elevator shafts with wire screens over skylights. Screens will also be provided at the level of the gratings under the elevator sheave beams.
4. New rectangular stack will be 14"x32" in cross section and will be built of #10 gauge steel. Stack will be supported on the walls at 2nd floor and will be braced at each floor by 3 x 3 angle frame and diagonal angle brace bolted through the walls. Stack will be kept 2'0" out from west wall of #205.
5. Elevator car control for new elevator #205 will be located between the door openings so that the distance from control to door lock will not exceed 4'0"
6. Occupancy based upon exits will be as follows, as Interior Fire Alarm Signal System will not be installed:
Stairs, 91-3rd Ave, -3'0" wide with 50% increase for sprinklers - 42
Stair Hall 105 sq.ft. - 21
Stairs 203- 3'10" wide less 10% winders and 50% increase for sprinklers - 48
Stair Hall - 90 sq.ft. - 18
Stairs 213- 3'0" wide with 50% increase for sprinklers - 42
EXAMINED AND RECOMMENDED Stair Hall - 97 sq.ft. - 19
FOR APPROVAL ON Total Occupancy any one floor - 190
Examiner

-over-

APPROVED _____ 191

Superintendent of Buildings, Borough of Manhattan

BUREAU OF BUILDINGS

BOROUGH OF MANHATTAN, CITY OF NEW YORK

NOTICE—This Amendment must be TYPEWRITTEN and filed in TRIPLICATE

ALT.

APPLICATION No. 2775

1919

[N. E., ALT., ELEV., ETC.]

LOCATION ~~Nos. 201-213 East 12th Street and 87491 Third Avenue, NEC, 3rd Ave. and 12th Street~~

New York City Dec. 20/19 191

To THE SUPERINTENDENT OF BUILDINGS:

Application is hereby made for approval of the following **AMENDMENT** to the specifications and plans filed with the above numbered application, with the stipulation that this amendment is to become a part of the aforesaid original application and subject to all the conditions, agreements and statements therein contained.

(Signed) Magrache + Frank
Applicant
Vincent B. Fox

7. New concrete floors will 2 1/2" thick.

Sizes of all beams, girders and columns are now shown on the plans for the purpose of determining the permissible live loads for which the building can be posted.

8. Specification Sheet "B" is filed herewith. Sizes of basement columns, footings, etc. are now marked on the plan. Soil under footings has been found by recent excavation at the building to be coarse sand good for four tons per square foot.

EXAMINED AND RECOMMENDED
FOR APPROVAL ON

12/29

191

G. J. Herma

Examiner

APPROVED

191

Superintendent of Buildings, Borough of Manhattan

BUREAU OF BUILDINGS

BOROUGH OF MANHATTAN, CITY OF NEW YORK

NOTICE—This Amendment must be TYPEWRITTEN and filed in TRIPLICATE

ALT. APPLICATION No. 2775 19 19

[N. B., ALT., ELEV., ETC.]

LOCATION Nos. 87-91 Third Avenue, 201-213 East 12th Street, N. E. C.

New York City Jan. 15, 1920

TO THE SUPERINTENDENT OF BUILDINGS:

Application is hereby made for approval of the following **AMENDMENT** to the specifications and plans filed with the above numbered application, with the stipulation that this amendment is to become a part of the aforesaid original application and subject to all the conditions, agreements and statements therein contained.

(Signed)

Mazurka & Franke
Applicant

It is proposed to cut four door openings in the walls of 89 and 91, 3rd floor, as shown on plans. Each opening to have brick arch over.

On 5th floor 207-209 the three north girders were found to be composed of 2 - 10" I beams each. As this is adequate for floor loads specified, reinforcement will not be necessary.

It is proposed to install a new toilet room 5th floor, 91--3rd Ave., as shown on Drawing #22 filed herewith.

It is proposed to install toilet rooms as shown on Drawing #25, 4th floor, Nos. 209-211, for an occupancy of 75 men and 15 women. Male washing facilities consist of sink at #205, sink at toilet room, and sink in #213.

It is proposed to provide dumbwaiter to extend from basement to third floor inclusive, enclosed in 3" T.C. block shaft with 4"x4" corner angles braced at floors and half-way between. Doors on each opening will be fire-proof hollow metal, self-closing. All as shown on drawing filed herewith.

9. Door openings now marked on plans.

EXAMINED AND RECOMMENDED
FOR APPROVAL ON

1/20

1920

C. J. H. ...

Examiner

APPROVED

JAN 20 1920

1920

Rudolph ...
Superintendent of Buildings, Borough of Manhattan

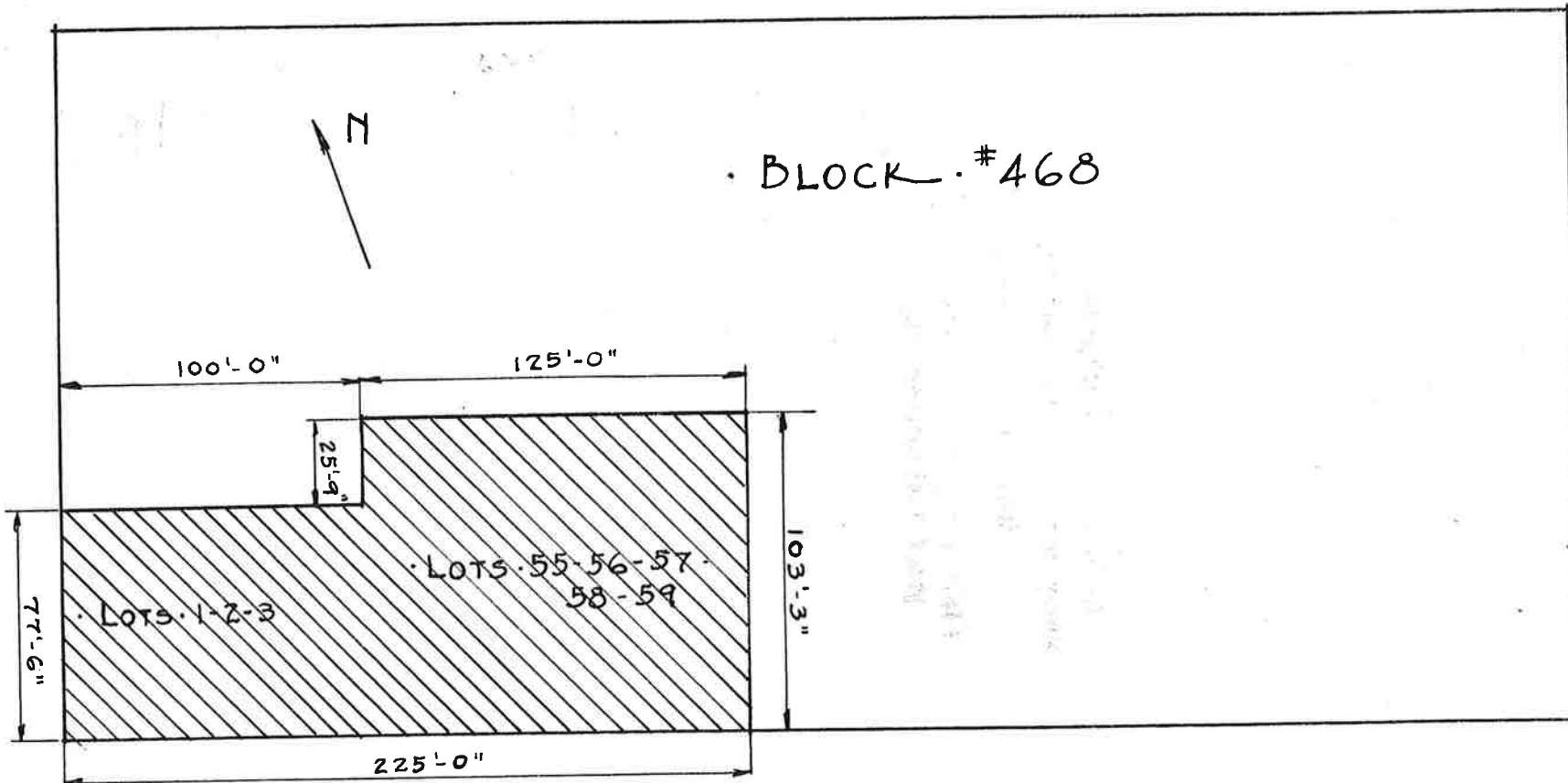
[PAGE 17]

· EAST · 13TH STREET ·

· BLOCK · #468

· SECOND · AVENUE ·

· THIRD · AVENUE ·



W.A. 2775-1919

(3)

· EAST · 12TH STREET ·

BUREAU OF BUILDINGS

BOROUGH OF MANHATTAN, CITY OF NEW YORK

191

TO THE SUPERINTENDENT OF BUILDINGS:

The undersigned respectfully requests that a _____ Certificate of Occupancy be issued to him stating that the Building located at and known as No. 87-91 Third Ave. E. 12th St in the Borough of Manhattan, conforms to the requirements of the Building Code of The City of New York.

Block _____ Lot _____ (Signed) _____ Owner
 _____ Lessee
 _____ Architect

Plt Plan No. 2775 191 9 (Address) _____

FLOORS	NO. LBS. LIVE LOAD	NO. OF PERSONS ON A FLOOR	OCCUPANCY
--------	--------------------	---------------------------	-----------

Cellar	8789-91 5th Ave	206-7-9 E. 12th St	211-13 E. 12th St	
Basement				
First Floor	120	front 70 rear 120	120	} <u>Factory</u>
2nd	120	front 45 rear 175	120	
3rd	120	fr 45 re 175	120	
4th	120	fr 45 re 175	120	
5th	120	fr 45 re 175	45	

CAH
1-20/20

011-2775-19

Mail to _____
 Address _____

DO NOT WRITE BELOW THIS LINE

Block 4-7 Lot 13-20 Plan No. _____ 191 _____ feet front

Location _____

for a NON fire-proof _____ and 5 story

Notes _____

Remarks: _____

Owner _____

Address _____

Certificate No. _____ Delivered to _____
 Mailed to _____



BUREAU OF BUILDINGS
 BOROUGH OF MANHATTAN, CITY OF NEW YORK



CERTIFICATE OF OCCUPANCY No.

1920

THIS CERTIFIES that the building located on Block **468** Lot **1-3 53-59**
 known as **87-91 Third Ave. & 201-13 E. 12 St.**
 225' front.

conforms substantially to the approved plans and specifications of **Alt.** Application No. **2775** 19 19
 and to all the requirements of the BUILDING CODE AND BUILDING ZONE RESOLUTION of the City of New York
 and the Industrial Code of the State of New York for a non-fireproof,
basement & 5 story Factory.

and that the several floors may sustain the live loads, accommodate the number of persons, and be occupied as follows:

FLOORS	Live Load per Square Foot in POUNDS	Number and Classification Persons on each Floor	OCCUPANCY
1st Floor	205-9 E. 12th 70 front 120 rear	Bal-ance. 120 190	FACTORY
2nd Floor to 4th "	45 front 120 rear	120 190	FACTORY
5th Floor	45 front 120 rear	40 on 12th St. 120 on 3rd Av. 190	FACTORY

J. M. White
5/12/20

This certificate is issued to **Map Realty Co. Inc.**
owners of the aforesaid building, address **229 E. 38 St., N.Y. City.**

in accordance with the provisions of Section 5, Article 1, Chapter 5 of the Code of Ordinances of the City of New York, and Chapter 503, Section 411-a of the Greater New York Charter.

DATED **May 12, 1920.**

[Signature]
 Superintendent of Buildings

BUREAU OF BUILDINGS—BOROUGH OF MANHATTAN—CITY OF NEW YORK

CONSTRUCTION Report in re Certificate of Occupancy

for _____
Location 87-91 Third Ave. + 201-13 E. 12th Plan No. 2775 191 9
Referred to Inspector Patrick H. Mc Hale on _____ 191 _____, for immediate report.

To the Superintendent of Buildings:

Sir: I have this day examined the building and premises herein described and report as follows:

Has work required by approved plans been completed? yes.

Date of completion? May 11th / 20 By whom reported as completed Patrick H. Mc Hale

Are there any violation or unsafe cases pending at this time? no

If so, state all record numbers of such cases: _____

Are there any other violations of the Building Code existing at the present time for which cases have not been filed? no

NOTE: If work is not completed as shown on approved plans, the Inspector will immediately report that fact on the attached Report Blank, and will keep this form in his possession until work is completed and return separate from other reports.

If this report refers to a Temporary Certificate of Occupancy, fill out the following:

Does the work, as far as it has progressed, conform substantially to the approved plans and to the requirements of the Building Code? _____

What remains to be done? _____

Are there any violation or unsafe cases pending? _____ If so, give No. and nature of same _____

The following information must be given in every case:

Is there a cellar? no Basement? yes. Sub-basement? no How many stories? Five

Proposed occupancy of cellar _____

Basement? Machinery and storage

1 floor Workshops and Offices

2 floor Workshops

3 floor "

4th & 5 floor "

Approved floor loads, Basement _____ lbs. First ^{4th floor} 175 lbs. 120-45 lbs. Fifth floor 175 lbs.

Have approved loads been posted? yes.

If an alteration, is the occupancy to be changed? yes.

If so, give previous and proposed occupancy in detail was Printing house now Occupied on all floors as Workshops. Offices

Dated, May 12th 1920

Signed Patrick H. Mc Hale Inspector.

BUREAU OF BUILDINGS

BOROUGH OF MANHATTAN, CITY OF NEW YORK

NOTICE—This specifications sheet must be TYPEWRITTEN and filed in TRIPPLICATE. If it is proposed to install or alter several elevators the specifications for which are not exactly alike throughout (as to type of machine, travel, speed, carrying capacity, freight or passenger service, etc.), A SEPARATE SPECIFICATIONS SHEET MUST BE FILED IN TRIPPLICATE ON THIS FORM FOR EACH ELEVATOR OR SET OF ELEVATORS OF SIMILAR SPECIFICATIONS; and each specifications sheet must clearly state the respective elevators to which it refers, identified by number as shown on the plans [See Note (A) on other side.] Drawings accompanying specifications must give all information specified on the other side of this form.

ELEV. APPLICATION No. 494 1919

LOCATION 87-91 - 3rd Ave., 201-3 E. 12th St. N/E Cor. 3rd Ave. & 12th St.

EXAMINED, Nov. 29 1919 [Signature] Examiner

SPECIFICATIONS

For Elevators numbered (on plans herewith)	<u>2</u>								
No. (Indicated by Supt. of Buildings)									

- (1) Number of elevators ~~proposed~~ to be installed ~~or altered?~~ 1
- (2) Power and type of elevator hoisting machine (State in detail) A. B. See Direct Connected Electric Drum Type Machine
- (3) Service of Elevators? Freight
(Passenger, Freight, Sidewalk)
- (4) Mode of Operation? Switch
(Hand Rope, Lever, Electric Switch, etc.)
- (5) Type of Speed Governor and location of same? Centrifugal - top of shaft
- (6) Type of Car Safety Device? Gradual
(Gradual or Instantaneous)
- (7) Travel: 5 Stories (from Basement story to 5th story) 56 ft. 0 in.
- (8) Rate of Travel in feet per minute? 200 f.p.m.
- (9) Carrying Capacity of Car: Normal 3500 lbs., Maximum 3000 lbs.
- (10) Location (in building) of Elevator Hoisting Machine? Overhead
- (11) Number of Hoist Ropes 2, Size of Hoist Ropes 5/4", Material Steel
- (12) Number of C. W. Ropes 2, Size of C. W. Ropes 5/4", Material Iron
- (13) Number of Compensating Ropes (or Chains) ---, Sizes of Compensating Ropes (or Chains)
- (14) Inside Dimensions of Car? 5'4" x 4'10 1/2"
- (15) Occupancy of building (in detail) Factory

BUREAU OF BUILDINGS

BOROUGH OF MANHATTAN, CITY OF NEW YORK

406

NOTICE—This Application must be TYPEWRITTEN and filed in TRIPLICATE, and ONE copy sworn to by Applicant. If Elevator or Plumbing Applications are filed herewith, ONE AFFIDAVIT is sufficient for all. Plans must be filed on tracing Linen or Cloth.

RECEIVED
OFFICE OF THE CLERK OF THE CITY OF NEW YORK
FEBRUARY 14 1921
FOR THE BUREAU OF
OF MANHATTAN

ALT. APPLICATION No. 406 192

LOCATION Nos. 87-91 Third Avenue
Nos. 201-213 East 12th St. NEC 12th St. & 3rd Avenue. BLOCK 468 LOT 1-2-3-55

When the signature of the Superintendent of Buildings of the Borough of Manhattan has been properly affixed, this application becomes a PERMIT as required by the Building Code of The City of New York, to perform such work as is described in the foregoing statement and the attached plans and specifications which are a part hereof.

EXAMINED AND RECOMMENDED FOR APPROVAL ON 3 23 - 1921
[Signature]
Examiner

APPROVED 192
Superintendent of Buildings, Borough of Manhattan
[Signature]

New York City, February 25 1921

TO THE SUPERINTENDENT OF BUILDINGS:

Application is hereby made for approval of the plans and specifications herewith submitted, and made a part hereof, for the ALTERATION of the building therein described,—with the understanding that if no work is performed within one year from the time of issuance, this approval shall expire by limitation as provided by law; and the applicant agrees to comply with all provisions of the Building Code of the City of New York, and with the provisions of all other laws and rules relating to this subject in effect at this date.

STATE, COUNTY AND CITY OF NEW YORK } ss. VINCENT B. FOX, representing the firm of
MAYNICKE & FRANKE, ARCHITECTS
Typewrite Name of Applicant

being duly sworn, deposes and says: That he resides at Number 206 West 114th Street
in the Borough of Manhattan
in the City of New York, in the County of New York
in the State of New York, that he is a representative of the firm
of Maynicke & Franke, Architects for the

owner in fee of all that certain lot, piece or parcel of land, shown on the diagram annexed hereto and made a part hereof, situate, lying and being in the Borough of Manhattan, City of New York aforesaid, and known and designated as Number 87-91 Third Ave. 201-213 East 12th St. NEC 12th St. & 3rd Ave. and hereinafter more particularly described; that the work proposed to be done upon the said premises, in accordance with the accompanying detailed statement in writing of the specifications and plans of such proposed work, including all amendments to the same which may be filed hereafter—and also all Elevator and Plumbing work

(if any) proposed to be done upon the same premises and specified in separate applications **filed herewith**, and all subsequent amendments thereto—is duly authorized by **Hup Realty Co., Inc.**
[Name of Owner or Lessee]
 and that **Maynicke & Franke, Architects** are duly authorized by the aforesaid **Hup Realty Company, Inc.** to make application for the approval of such detailed statement of specifications and plans (and amendments thereto) in its behalf.

Deponent further says that the full names and residences, street and number, of the owner or owners of the said land, and also of every person interested in said building or proposed building, structure or proposed structure, premises, wall, platform, staging or flooring, either as owner, lessee, or in any representative capacity, are as follows:

NAMES AND ADDRESSES

Owner **Hup Realty Co., Inc.** 229 East 38th Street
 Pres.
J. Chr. G. Hupfel, /229 East 38th Street
Anton C. G. Hupfel, Vice Pres, 229 East 38th St.

Lessee _____
 Architect **S. Maynicke & Franke,** 25 Madison Sq. No.
 Superintendent " " " " " "

The said land and premises above referred to are situate at, bounded and described as follows, viz.: BEGINNING at a point on the north side of 12th Street distant 0 feet from the corner formed by the intersection of 12th Street and 3rd Avenue running thence easterly, 225'-0" feet; thence Northerly 103'-3" feet; thence westerly 125'-0" feet; thence Southerly 25'-9" feet; thence westerly 100'-0" feet; thence Southerly 77'-6" feet to the point or place of beginning,—being designated on the map as Block No. 468 Lot No. 1-2-3-55

(SIGN HERE) *August P. ... representing the project ...* Applicant

Dimensions and Lot and Block numbers agree with Land Map.

Sworn to before me, this 1st day of March 1921

August P. ... representing the project ...

J. Korman
 (Signature)
 Date 3/1/21 *T. ...* Fax Dept.
 (Title)

ALTERATION PERMIT

**BUREAU OF BUILDINGS
 BOROUGH OF MANHATTAN
 CITY OF NEW YORK**

NOTE: All elevations and grades for curbs and sidewalks must be obtained from the Commissioner of Public Works, Municipal Building, New York City



BUREAU OF BUILDINGS

BOROUGH OF MANHATTAN, CITY OF NEW YORK

ALTERATION

APPLICATION No.

406

1921

[N. B., ALT., OR ELEV.]

LOCATION 87-91 Third Ave-201-13 East 12th St BLOCK _____ LOT _____

NEC

DISAPPROVED March 8, 1921 with the following OBJECTIONS:

JJH....DM

1. Means of ventilating dressing rooms are unsatisfactory. A window opening to court or outer air having area of 1/10 the floor area of room should be provided. (Section 160-Industrial Code).

Examiner

Superintendent of Buildings

BUREAU OF BUILDINGS

BOROUGH OF MANHATTAN, CITY OF NEW YORK

NOTICE—This Amendment must be TYPEWRITTEN and filed in TRIPLICATE

ALT.

APPLICATION No. 406

192 1

[N. B., ALT., ELEV., ETC.]

LOCATION 87-91 Third Ave. 201-213 East 12th St BLOCK _____ LOT _____
NE C.

New York City March 10 192 1

TO THE SUPERINTENDENT OF BUILDINGS:

Application is hereby made for approval of the following **AMENDMENT** to the specifications and plans filed with the above numbered application, with the stipulation that this amendment is to become a part of the aforesaid original application and subject to all the conditions, agreements and statements therein contained.

(Signed)

Wynne G. Frank
Applicant *Vincent P. Frank*

✓ 1. Reconsideration of this objection is respectfully requested as the partition enclosing the Rest Room is only 7' high and adequate ventilation will be obtained. Space surrounding the Rest Room is provided with windows opening on streetfront and since the last sentence of Section 161 of the Industrial Code states that mechanical ventilation may be required as determined by the Industrial Board.

The installation is in an old building and it would be a hardship to the tenant to locate the Dressing Room so as to have windows to the outer air.

IDP 3/10/21

EXAMINED AND RECOMMENDED FOR APPROVAL ON

3-23 192,

John S. [Signature]
Examiner

APPROVED _____ 192

Superintendent of Buildings, Borough of Manhattan

as, ny.



BUREAU OF BUILDINGS

BOROUGH OF MANHATTAN, CITY OF NEW YORK

NOTICE—This Application must be TYPEWRITTEN and filed in TRIPPLICATE.
 "SPECIFICATIONS—SHEET A" [Form 152] must be filed with EVERY Alteration Application.
 "SPECIFICATIONS—SHEET B" [Form 153] must be filed, in addition, in case the building is to be raised in height or occupancy changed so as to increase floor loads, or if building is to be enlarged on one side.

ALT. APPLICATION No. 191

LOCATION Nos. 87-91 Third Ave. & 201-213 East 12th St. NEC 12th St. & 3rd Avenue.

Examined 191

Examiner.

SPECIFICATIONS--SHEET A

- (1) NUMBER OF BUILDINGS TO BE ALTERED One No .
- Any other building on lot or permit granted for one? No .
- (2) ESTIMATED COST OF ALTERATION: \$ 500.00
- (3) OCCUPANCY (in detail):
 Of present building Factory
 Of building as altered Factory
- (4) SIZE OF EXISTING BUILDING:
 At street level 225'-0" feet front 77'-6" & 103'-3" feet deep
 At typical floor level 225'-0" feet front 77'-6" & 103'-3" feet deep
 Height 5 stories 60 feet
- (5) SIZE OF BUILDING AS ALTERED:
 At street level 225'-0" feet front 77'-6" & 103'-3" feet deep
 At typical floor level 225'-0" feet front 77'-6" & 103'-3" feet deep
 Height 5 stories 60 feet
- (6) CHARACTER OF CONSTRUCTION OF PRESENT BUILDING: Ordinary
 (Frame, Ordinary or Fireproof.)
- (7) STATE GENERALLY IN WHAT MANNER THE BUILDING WILL BE ALTERED:

It is proposed to install new toilet accommodations for 15 females, employees on the 4th floor of No. 205-209 East 12th Street, also sub-
dividing corridor partitions, all as shown on drawing No. 30 filed herewith.

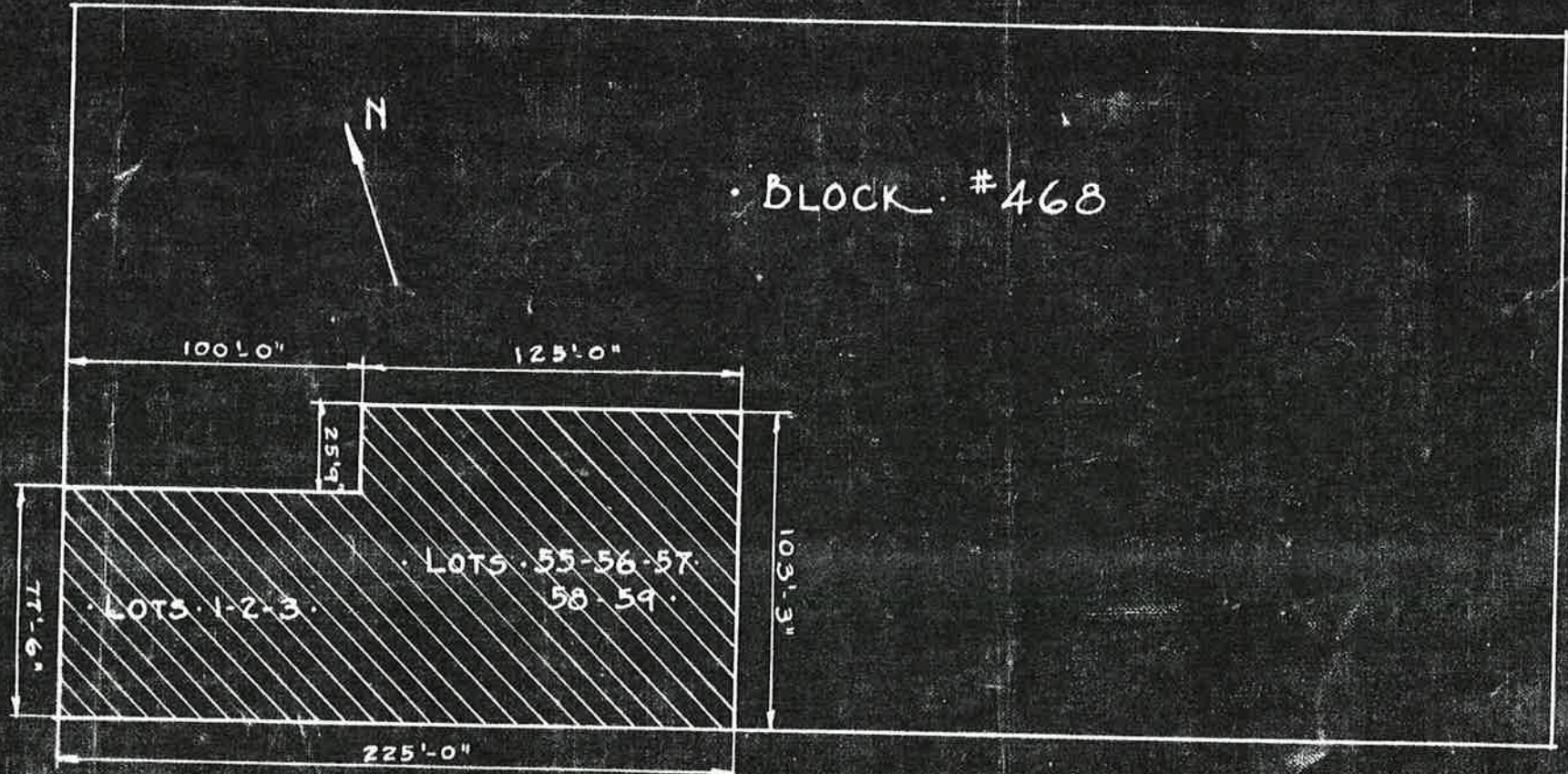
Maryanne J. ...
Consent B. Ho

EAST 13TH STREET

BLOCK #468

THIRD AVENUE

SECOND AVENUE



PLOT PLAN

SCALE 40 FT. = 1 INCH
DATE FEB. 4/21

PREMISES 87-91 3RD AVE. & 201-213 EAST 12TH ST.
N. Y. CITY

MAYNICK & FRANK ARCHTS
25 MAD. SQ. NORTH N.Y.C.

BUREAU OF BUILDINGS
BUREAU OF BUILDINGS
 BOROUGH OF MANHATTAN, CITY OF NEW YORK

Received AUG 23 1928

NOTICE—This Application must be TYPEWRITTEN and filed in TRIPLICATE.
 "SPECIFICATIONS—SHEET A" (Form 152) must be filed with EVERY BOROUGH application.
 "SPECIFICATIONS—SHEET B" (Form 158) must be filed, in addition, in case the building is to be raised in height or occupancy changed so as to increase floor loads, or if building is to be enlarged on one side.

ALT. APPLICATION No. 1851 1928 BLOCK 460 LOT 1

LOCATION NEC 87-91 3d. Avenue & 201-13 East 12th Street

DISTRICT (under building zone resolution) Use Residence Height 1 1/2 Area B

Examined _____ 192 _____ Examiner.

SPECIFICATIONS—SHEET A

(1) NUMBER OF BUILDINGS TO BE ALTERED 1
 Any other building on lot or permit granted for one? no

(2) ESTIMATED COST OF ALTERATION: \$ 1000

(3) OCCUPANCY (in detail):
 Of present building FACTORY

Of building as altered no change in occupancy

(4) SIZE OF EXISTING BUILDING:	<u>77.6' x 25.9'</u>		<u>225'</u>	
At street level	<u>77.6' x 25.9'</u>	feet front	<u>225'</u>	feet deep
At typical floor level	<u>5</u>	feet front	<u>56</u>	feet deep
Height		stories		feet

(5) SIZE OF BUILDING AS ALTERED:	<u>77.6' x 25.9'</u>		<u>225'</u>	
At street level	<u>77.6' x 25.9'</u>	feet front	<u>225'</u>	feet deep
At typical floor level	<u>5</u>	feet front	<u>56</u>	feet deep
Height		stories		feet

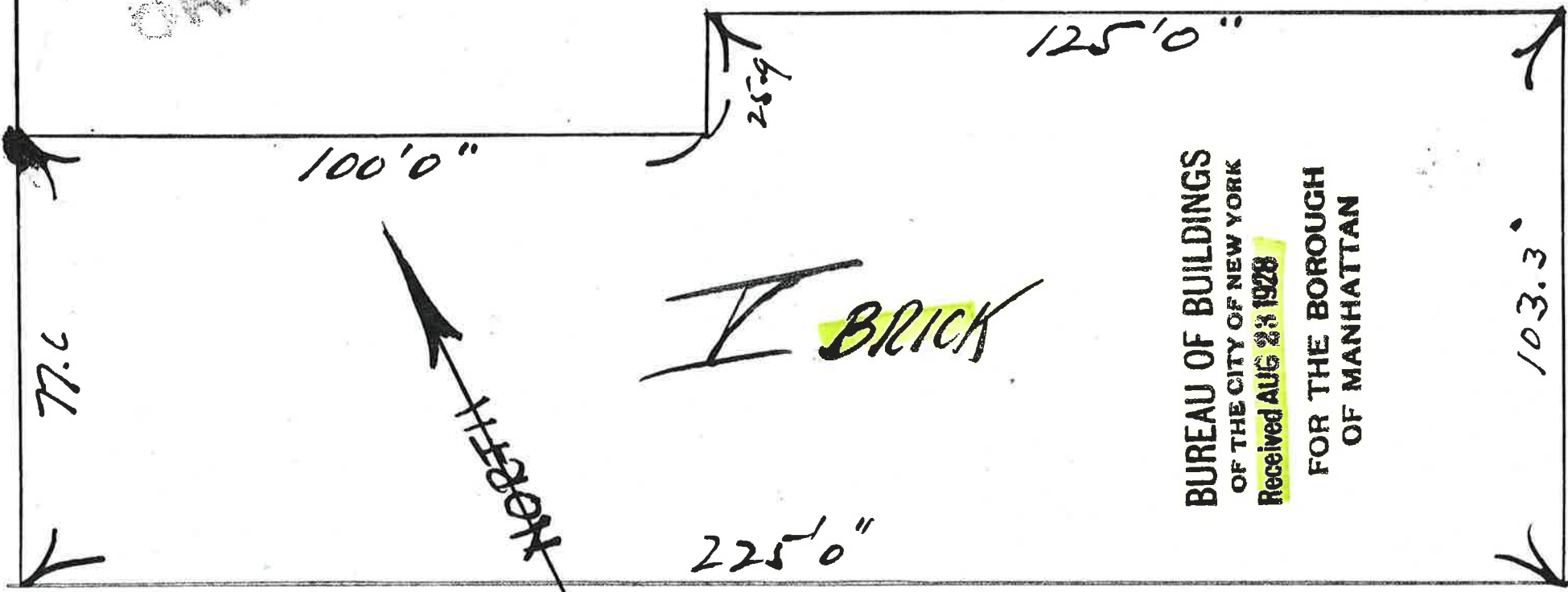
(6) CHARACTER OF CONSTRUCTION OF PRESENT BUILDING: ordinary [Frame, Ordinary or Fireproof]

(7) NUMBER OF OCCUPANTS (in each story of building as altered, giving males and females separately in the case of factories): No change in occupants or occupancy

(8) STATE GENERALLY IN WHAT MANNER THE BUILDING WILL BE ALTERED: It is proposed to install driveway inside of building 1st story on 12th Street front and take out brick pier between two windows and cut down to sidewalk, install steel beams and stone cor arches, also install steel girders to support brickwork above driveway opening at front, enclose driveway with L & T iron filled in with 6" T.C. block and cover ceiling above driveway with wire lath and 3/4" p.c. and all as shown on plan.

ORIGINAL

THIRD AVENUE



BUREAU OF BUILDINGS
 OF THE CITY OF NEW YORK
 Received AUG 23 1928
 FOR THE BOROUGH
 OF MANHATTAN

I BRICK

E. 12th STREET.

BLOCK # 468
 LOT # 1.
 USE RESIDENCE
 AREA B
 HEIGHT 1 1/2
 DATE - 8-23-28
 Scale 1/4" = 10'

Att. 1851-1928

3

BUREAU OF BUILDINGS
BOROUGH OF MANHATTAN, CITY OF NEW YORK

BUREAU OF BUILDINGS 1851
OF THE CITY OF NEW YORK
RECEIVED AUG 23 1928

NOTICE—This Application must be TYPEWRITED in TRIPPLICATE, and ONE copy sworn to by Applicant. If Elevator or Plumbing Applications are filed herewith, ONE AFFIDAVIT is sufficient for all. Plans must be filed on tracing Linen on Cloth.

FOR THE BOROUGH OF MANHATTAN

Handwritten signature/initials

ALT. APPLICATION No. 1851 1928

LOCATION NEC: 87-91 3d. Ave & 201-13 East 12th Street BLOCK 468 LOT 1

New York City, 8-23-28 192

To THE SUPERINTENDENT OF BUILDINGS:

Application is hereby made for approval of the plans and specifications herewith submitted, and made a part hereof, for the ALTERATION of the building therein described,—with the understanding that if no work is performed hereunder within one year from the time of issuance, this approval shall expire by limitation as provided by law; and the applicant agrees to comply with all provisions of the Building Code of the City of New York, and with the provisions of all other laws and rules relating to the alteration of said building in effect at this date.

Work under this approval will not be commenced until a permit has been secured, application for which will be filed with the Superintendent of Buildings, accompanied by satisfactory evidence that compensation insurance has been obtained in accordance with the provisions of the Workmen's Compensation Law.

EXAMINED AND RECOMMENDED FOR APPROVAL ON 192

Handwritten signature of Examiner

Examiner

APPROVED SEP 192

Superintendent of Buildings, Borough of Manhattan.

Handwritten signature of Superintendent

STATE, COUNTY AND CITY OF NEW YORK

SS.:

Frederick J. Berger,, doing business under style of Bruno W. Berger & Son,, Architects

Typewrite Name of Applicant

being duly sworn, deposes and says: That he resides at Number 121 Bible House, in the Borough of Manhattan, in the City of New York, in the County of New York, in the State of New York, that he is the architect and that J. Chr. G. Hupfell Co., Inc., is the

owner in fee of all that certain lot, piece or parcel of land, shown on the diagram annexed hereto and made a part hereof, situate, lying and being in the Borough of Manhattan, City of New York aforesaid, and known and designated as Number NEC.. 87-91 3d. Ave., & 201-13 E. 12th Street.

and hereinafter more particularly described; that the work proposed to be done upon the said premises, in accordance with the accompanying detailed statement in writing of the specifications and plans of such proposed work, including all amendments to the same which may be filed hereafter—and also all Elevator and Plumbing work

(if any) proposed to be done upon the same premises and specified in separate applications filed herewith, **J. Chr. G. Hupfel Co. Inc, Owner** and all subsequent amendments thereto—is duly authorized by

(Name of Owner or Lessee)
Bruno W. Berger & Son Architects
and that

owner duly authorized by the aforesaid **owner** to make application for the approval of such detailed statement of specifications and plans (and amendments thereto) in **owner's** behalf.

Deponent further says that the full names and residences, street and number, of the owner or owners of the said land, and also of every person interested in said building or proposed building, structure or proposed structure, premises, wall, platform, staging or flooring, either as owner, lessee, or in any representative capacity, are as follows:

NAMES AND ADDRESSES

J. Chr. G. Hupfel Co., Inc., J. Chr. G. Hupfel Pres., Anton C. G. Hupfel
Ownervice Pres., 229 E. 38th Street

Lessee

Architect **Bruno W. Berger & Son, 121 Bible House**

Superintendent

The said land and premises above referred to are situate at, bounded and described as follows, viz.: BEGINNING at a point on the **East** side of **3d. Avenue**

distant **0** feet from the corner formed by the intersection of **12th Street** and **Third Avenue**

running thence **north 77.5°** feet; thence **east 100, north 25.9°** feet;

thence **east 125** feet; thence **south 103.3°**

west 225 feet

to the point or place of beginning, being designated on the map as Block No. **468** Lot No. **1**

(SIGN HERE)  Applicant

Sworn to before me, this **23** day of **Aug.** 192**8**

Dimensions and Lot and Block numbers agree with Land Map.

(Signature)
Date _____ Tax Dept.
(Title)

**ALTERATION
APPLICATION**

**BUREAU OF BUILDINGS
BOROUGH OF MANHATTAN
CITY OF NEW YORK**

NOTE: ALL elevations and grades for curbs and sidewalks must be obtained from the Commissioner of Public Works, Municipal Building, New York City

66
N-1920

BUREAU OF BUILDINGS

BOROUGH OF MANHATTAN, CITY OF NEW YORK

NOTICE—This Amendment must be TYPEWRITTEN and filed in TRIPLICATE

Alt APPLICATION No. 1851 192 8
 (N.B., ALT., ELEV., ETC.)

LOCATION 201-213 E. 12th St. 87-91 3d. Ave BLOCK 468 LOT 1
REC. 9-17-28
 New York City _____ 192

TO THE SUPERINTENDENT OF BUILDINGS:

Application is hereby made for approval of the following AMENDMENT to the specifications and plans filed with the above numbered application, with the stipulation that this amendment is to become a part of the aforesaid original application and subject to all the conditions, agreements and statements therein contained.

Bruno W. Berger & Son,
Architects,
 (Signed) _____
121 Bible House, City.
 Applicant

1. Permitt will be obtained from Highway Department before proceeding with work beyond the building line.
2. Sidewalk-375# total load,
 Reinforcement-Steel area .0666-4"x16" mesh-#7-#10 wires.
 Driveway-195# total load,
 Reinforcement-Steel area .0432-4"x16" mesh-#9-#11 wires.
3. Changed to Beth G 8" 32.5#
4. Chng beams and girders where marked B.G. 18"x86# over driveway opening, 10" is in place of 8" IB over sidewalk.

2 D.P. 9/19/28

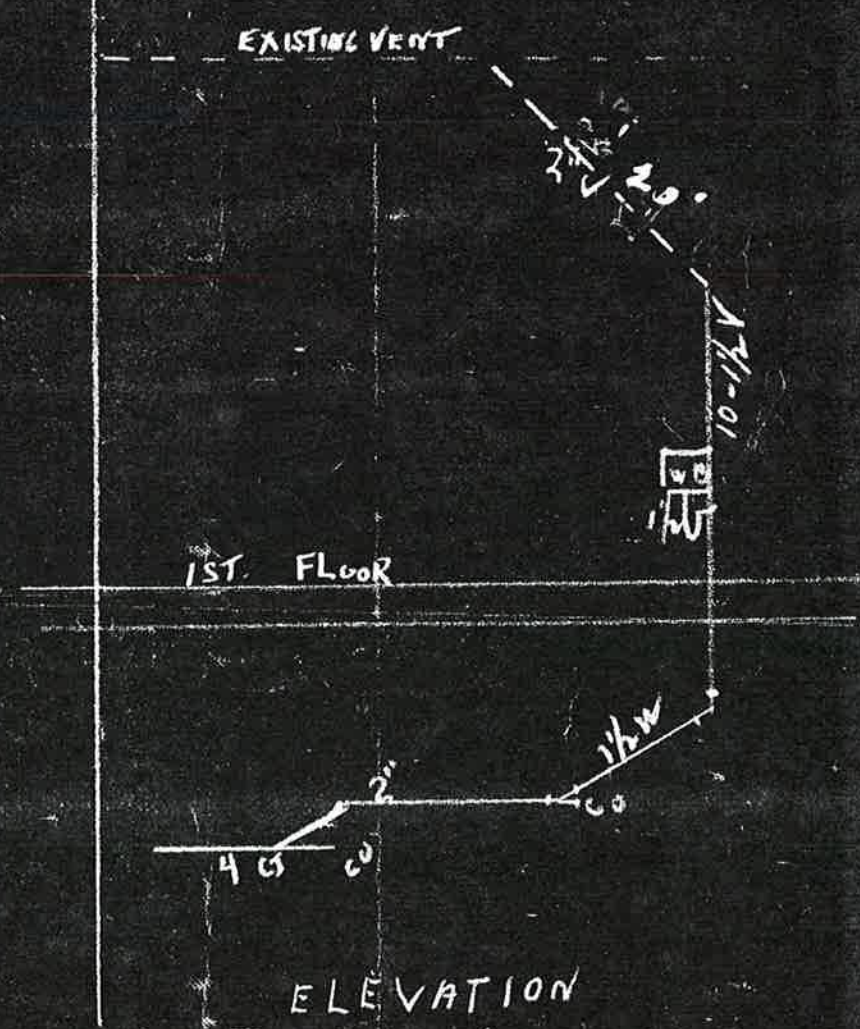
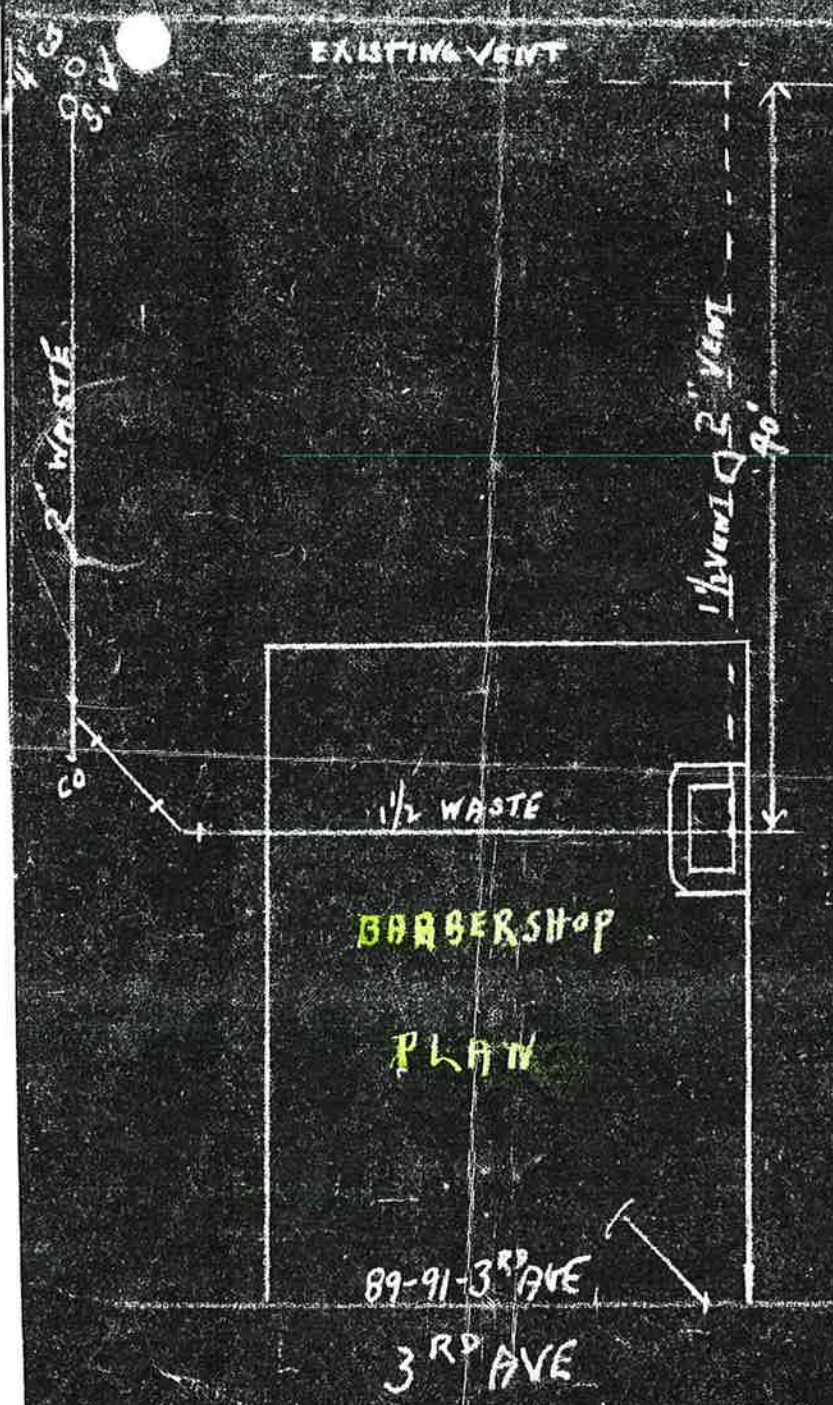
NOTE—The applicant must not use the back of this sheet. If more space is needed, additional sheets must be used. No item must be continued over to another sheet; but each item must be complete on the sheet on which it appears. Only those items that appear above the endorsements at the bottom of the page can be considered.

EXAMINED AND RECOMMENDED FOR APPROVAL ON SEP 20 1928 192

[Signature]
 Examiner

APPROVED _____ 192

Superintendent of Buildings, Borough of Manhattan



PLAN + ELEVATION FOR
 WASH BASIN IN BARBERSHOP
 89-91-3RD AVE
 SANITARY BARBERSHOP
 MARCH 10, 1942

DEPARTMENT OF HOUSING AND BUILDINGS

BOROUGH OF **MANHATTAN**, CITY OF NEW YORK

MANHATTAN
Municipal Bldg.,
Manhattan

BROOKLYN
Municipal Bldg.,
Brooklyn

BRONX
1932 Arthur Avenue,
Bronx

QUEENS
120-55 Queens Blvd.,
Kew Gardens, L. I.

RICHMOND
Boro Hall,
St. George, S. I.

NOTICE—This Application must be TYPEWRITTEN and filed in TRIPLICATE

BUILDING NOTICE

APPLICATION FOR MINOR STRUCTURES, MINOR ALTERATIONS AND REPAIRS,
ELEVATOR REPAIRS, DROP CURB, FIRE ESCAPES, MISCELLANEOUS

APPLICATION No. **669** 1943 Block **468** Lot **1**

LOCATION **87 - 91 Third Avenue, E. E. Corner, of 13th Street.**
(Give Street Number)

FEES REQUIRED FOR

DISTRICT (under building zone resolution) Use **Unrestricted** Height **1 1/2** Area **"B"**

STATE AND CITY OF NEW YORK

COUNTY OF **New York**

Walter H. Volckening being duly
(Typewrite Name of Applicant)

sworn deposes and says: That he resides at **447 East 26th Street.** Borough of **Brooklyn** City of New York; that he is the agent for the (owner-lessee) of the premises above described, and is duly authorized to make this application for approval of the plans and specifications herewith submitted, and made a part hereof, for the work to be done in the building therein described,—with the understanding that if no work is performed hereunder within one year from the time of issuance, this approval shall expire by limitation as provided by law; and the applicant agrees to comply with all provisions of the Building Code and all laws and regulations applicable to the erection or alteration of said structure in effect at this date; that the work to be done is duly authorized by the owner.

Deponent further says that the full names and residences of the owners or lessees of said premises are:
Owner **Dewarose Co.** **305 East 12th St.** Address **Mathue M. Berger Pres. 205 E. 12th St.**
Louis Carr. Treas. 205 E. 12th St. N.Y.
Lessee **Molded Products Inc.** Address **263 East 12th St. N.Y. City.**

Sworn to before me this
day of **April**, 1943

(Sign here) **Walter H. Volckening**
Applicant

Notary Public or Commissioner of Deeds

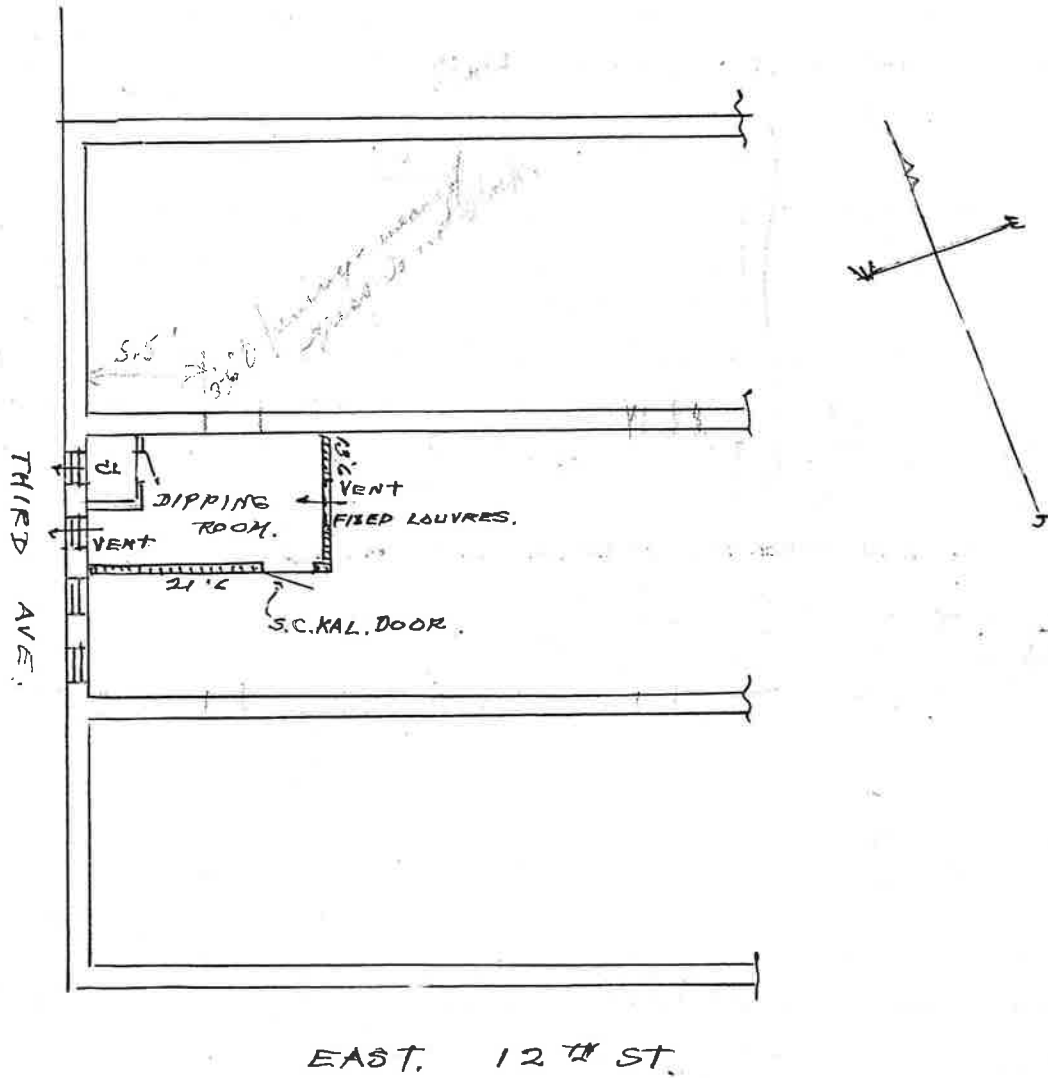
If Licensed Architect or Professional Engineer, affix seal.

COMPENSATION INSURANCE has been secured in accordance with the requirements of the Workmen's Compensation Law as follows: **will be filed later.**

State proposed work in detail: **In the North East corner of the center section of the third floor, construct an enclosure partition forming a room to be used for dipping of the products that are made. This partition will be of Gypsum blocks, plastered on both sides from floor to ceiling, the ceiling will be covered with half inch plaster board, joints to be pointed up. There will be a fixed louvered ventilator in the end partition, self closing metal covered one hour test door at the entrance to room, jamb and trim metal covered. In the window will be placed necessary exhaust fan, to the outer air. See plan on other side.**

Is this a new or old building? **old**
If old building, give character of construction **Brick walls, Mill type of floor construction.**
Number of stories high **Five & cellar.**
How occupied **Factory**
Is application made to remove a violation? **No**
How to be occupied **Same**
Cost \$ **250.00**

REMARKS OR SKETCH:



If this application is for Drop Curb Permit, DIAGRAM showing plot to be used, the relative position of the cut curb and the extent thereof, must be drawn above.

Cut curb Total Splay
Length in Feet Length in Feet

Deposit (\$.....), either in cash or certified check, payable to the order of the Department of Housing and Buildings, to insure the proper construction of the sidewalk and curb.

Refer to N.B. ALT.....194

EXAMINED AND RECOMMENDED

For Approval on.....194

Approved.....194

Edward P. Lovick

Borough Superintendent

Work commenced..... Date signed off 9-22- 1943

I Hereby Certify that the above report is true in every respect and that the work indicated has been done in the manner required by the Rules and Regulations of this Department, except where reported adversely.

Signed *[Signature]*
Inspector

B.N. 63

DEPARTMENT OF HOUSING AND BUILDINGS

BOROUGH OF MANHATTAN, CITY OF NEW YORK

MANHATTAN
Municipal Bldg.,
Manhattan

BROOKLYN
Municipal Bldg.,
Brooklyn

BRONX
1932 Arthur Avenue,
Bronx

QUEENS
120-55 Queens Blvd.,
Kew Gardens, L. I.

RICHMOND
Boro Hall,
St. George, S. I.

NOTICE—This Amendment must be TYPEWRITTEN and filed in TRIPLICATE

AMENDMENT

B.N. APPLICATION No. **669**, 19**43**
(N. B., Alt., Elev., etc.)
LOCATION **87 - 31 Third Avenue, N.E. Corner of East 12th Street.**
BLOCK **468** LOT **1**
May 11th, 1943, 19**43**

To THE BOROUGH SUPERINTENDENT:

Application is hereby made for approval of the following AMENDMENT to the specifications and plans filed with the above numbered application, with the stipulation that this amendment is to become a part of the aforesaid original application and subject to all the conditions, agreements and statements therein contained.

(Signed) *Walter H. Volspey*
Applicant
145 West 45th Street, N.Y. City.
Address

1. Dipping space will be ventilated as per Rule 3, of Sprinkler & Dipping room Rules of Board of Standards & Appeals.
2. Floor of dipping room will be waterproofed, Rule 4.1-1.
3. Louvres in partition of dipping room to be self closing, controlled with fusible link etc. Total amount of air admitted through louvres, not to be less than 100 feet per minute.
4. Total amount of material in open tanks 36 gallons.
5. Door to dipping room one hour test self closing.
6. Number of persons in dipping room stated on plans.
7. Partitions to be made of 2x4" studs, metal lath and 3/4" cement plaster on both sides, troweled smooth.
8. Fire prevention application will be filed.
9. Separate storage closet provided, entrance from outside of dipping room; not over 200 gallons stored, see plan, as per rules-Board of Standards & Appeals
10. Sprinklers will be provided in dipping room and store closet.
11. Lighting fixtures as per Rule, 4.5.
12. The opening in wall will be closed, with fire proof material, this opening not required as an exit.
13. Plans to 1/4" scale filed herewith.
14. B.N. 572 - 43 is herewith withdrawn, as it is a part of this plan and application.
15. The plaster board on ceiling will be covered with plaster.

NOTE—The applicant must not use the back of this sheet. If more space is needed, additional sheets must be used. No item must be continued over to another sheet; but each item must be complete on the sheet on which it appears. Only those items that appear above the endorsements at the bottom of the page can be considered.

EXAMINED AND RECOMMENDED FOR APPROVAL ON _____, 19

APPROVED **JUN 4 - 1943**, 19

Edward P. Leonard Examiner
Borough Superintendent

CHARLES CABIBI, M. A.
DIRECTOR



LICENSED BY THE STATE OF NEW YORK
PHONE ALGONQUIN 4-2850

ATLAS BARBER SCHOOL, Inc.

279 - 3RD AVENUE
CORNER 22ND STREET
NEW YORK 10, N. Y.

June 15, 1955.

Department of Housing and Building
Municipal Building
New York 7, N.Y.

RE:

87-3rd.Ave.N.E.C.
201 East 12th St. N.Y.C.

Dear Sirs:-

Approval is hereby requested to use the first floor of the above premises for school use for 40 persons as the net floor area of this building is less than 8000 Sq.Ft. and it faces on two streets.

There is no other school in the building.

The name of the school is as follows:

Atlas Barber School Inc.

279-3rd.Ave.

New York 10, N.Y.

The subject taught is barbering. The number of male students is 25, and the number of female students is 15.

Enclosed is herewith a floor plan of the school showing all pertinent information required for examination and approval.

Kindly send me a letter of your approval of the above at your earliest convenience so that I may submit same to the New York State Education Department.

I thank you.

Yours respectfully,

A handwritten signature in cursive script, appearing to read 'Charles Cabibi'. The signature is written in dark ink and is positioned above the printed name and title.

Charles Cabibi
Director

BN 3871 / S
1st fl.

THE CITY OF NEW YORK
DEPARTMENT OF BUILDINGS

MANHATTAN
Municipal Bldg.,
New York 7

BROOKLYN
Municipal Bldg.,
Brooklyn 1

BRONX
1932 Arthur Ave.,
New York 57

QUEENS
120-55 Queens Blvd.,
Kew Gardens 24, L. I.

RICHMOND
Boro Hall,
St. George 1, S. I.

NOTICE — This Application must be TYPEWRITTEN and filed in TRIPLICATE

Minor Structures, Minor Alterations and Repairs, Elevator Repairs, Drop Curb, Fire Escapes, Miscellaneous

Block 468 Lot 1
DISTRICT (under building zone resolution)
Use Retail & Residence Height _____ Area _____
Is sidewalk shed or fence required _____

SIDE WALK SHED. No sidewalk shed or fence shall interfere with visibility or operation of any traffic light. The Department of Traffic shall be notified whenever such structure is to be erected within seventy five (75) feet of a traffic light. Failure to comply may be cause for revocation of this permit.

BUILDING NOTICE

P & D

DEPARTMENT OF BUILDINGS
3871
RECEIVED DEC 17 1957

CITY OF NEW YORK
BOROUGH OF MANHATTAN
DO NOT WRITE IN THIS SPACE

LOCATION 207 East 12th Street Man _____
(Give Street Number)

STATE AND CITY OF NEW YORK, }
COUNTY OF New York } ss.:

Joseph Lau, A.I.A.

being duly
(Typewrite Name of Applicant)

sworn deposes and says: That he resides at 5 Beekman Street Borough of Manhattan City of New York; that he is the agent for the (owner-lessee) of the premises above described, and is duly authorized to make this application for approval of the plans and specifications herewith submitted, and made a part hereof, for the work to be done in the building therein described,—with the understanding that if no work is performed hereunder within one year from the time of issuance, this approval shall expire by limitation as provided by law; and the applicant agrees to comply with all provisions of the Building Code and all laws and regulations applicable to the erection or alteration of said structure in effect at this date; that the work to be done is duly authorized by the owner.

Deponent further says that the full names and residences of the owners or lessees of said premises are:

Owner McKenna & Phelps Inc., Address 207 East 12th St., N.Y.
Mathew M. Berger, Pres., Address 207 East 12th St., N.Y.
~~xxxx~~ Deborah J. Berger, V. Pres., Address 207 East 12th St., N.Y.

Sworn to before me this 17
day of Dec., 19 57.

(Sign here) Joseph Lau
Applicant

Betty V. L...
Notary Public or Commissioner of Deeds

If Licensed Architect or Professional Engineer, affix seal.



COMPENSATION INSURANCE has been secured in accordance with the requirements of the Workmen's Compensation Law as follows: The State Insurance Fund # Y-252-992 Exp. 8/1/58 - Peter Peterson Inc. 488 Ocean Ave. East Rockaway N.Y.

State proposed work in detail: Install new window and door at front. New partitions to form offices and toilet room. New hung ceiling. Install air conditioning unit, all as per plans.

Is this a new or old building? Old
If old building, give character of construction Ordinary Brick
Number of stories high 5
How occupied Factory
Is application made to remove a violation? No
How to be occupied Same - No Change

If fuel burning equipment is to be installed Smoke Control Equipment Form must accompany this application.

Estimated Cost \$7000.00 including plumbing.

(Any variation in estimated cost shall be filed and recorded as an amendment.)

Exemptions

If exemption from payment fee is claimed, state clearly the basis of claim _____

This Building Notice has been examined for stated work only. The occupancies noted have not been verified nor approved.

REMARKS OR SKETCH:

If this application is for Drop Curb Permit, DIAGRAM showing plot to be used, the relative position of the cut curb and the extent thereof, must be drawn above.

Cut curb.....Length in Feet.....Total Splay.....Length in Feet.....

Deposit (\$.....), either in cash or certified check, payable to the order of the Department of Buildings, to insure the proper construction of the sidewalk and curb.

Refer to N.B. ALT.....19

EXAMINED AND RECOMMENDED

For Approval on.....19

J.A. Johnson
Examiner

Approved.....19

Borough Superintendent

Work commenced.....Date signed off.....19

I hereby Certify that the above report is true in every respect and that the work indicated has been done in the manner required by the Rules and Regulations of this Department, except where reported adversely.

Signed.....
Inspector

Initial fee payment—Amount \$.....1st Receipt No.....

Date.....Cashier.....

2nd payment of fee to be collected before a permit is issued—Amount \$ 19.00 (24-5)

Verified by.....Date.....

2nd Receipt No.....Date.....Cashier.....

OWNER.....ADDRESS.....

APPLICANT.....ADDRESS.....

ADDITIONAL FEES REQUIRED.....AMOUNT \$.....
(Yes or No)

VERIFIED BY.....DATE.....

1. The sum of the fees indicated on the first and second receipts shall represent the total fee. Any variation on contemplated work or change affecting the estimated cost shall be recorded as an amendment. If any question arises in connection with the estimated cost or with the adequacy of the fee, no permit shall be issued unless adjusted to the satisfaction of the department at the direction of the Borough Superintendent.