

Applicant must indicate the Building Line or Lines clearly and distinctly on the drawings

2277

# Department of Buildings of The City of New York.

**B** 449  
**L** 13

HOMAS J. BRADY,  
President of the Board of Buildings and  
Commissioner of Buildings for the Bor-  
oughs of Manhattan and The Bronx.  
Office, No. 20 Fourth Avenue, S. W. cor. 18th Street,  
Borough of Manhattan.

JOHN GUILFOYLE,  
Commissioner of Buildings for  
the Borough of Brooklyn.  
Office, Borough Hall, Borough of Brooklyn.

DANIEL CAMPBELL,  
Commissioner of Buildings for the Bor-  
oughs of Queens and Richmond.  
Office, Richmond Building, New Brighton, Staten Island,  
Borough of Richmond.  
Branch Office, Town Hall, Jamaica, Long Island,  
Borough of Queens.

Plan No. 2277

## APPLICATION TO ALTER, REPAIR, ETC.

Application is hereby made to the Commissioner of Buildings of The City of New York, for the Borough of Manhattan and the Bronx for the approval of the detailed statement of the specifications and plans herewith submitted, for the alteration or repair of the building herein described. All provisions of the Building Code shall be complied with in the alteration or repair of said building, whether specified herein or not.

(Sign here) John Bossi

THE CITY OF NEW YORK,

BOROUGH OF Manhattan, October 15 1900

### LOCATION AND DESCRIPTION OF PRESENT BUILDING.

- State how many buildings to be altered. One
- What is the exact location thereof? (State on what street or avenue; the side thereof, the number of feet from the nearest street or avenue, and the name thereof) South side of St Marks Place 175 ft. East of Second Ave.
- How was the building occupied? dwelling  
How is the building to be occupied? Bas. and 1st floor for church purposes; above as dwelling for pastor
- Is the building on front or rear of lot? Front Is there any other building on the lot? no  
If so, state size: — feet front; — feet rear; — feet deep; — stories high. How occupied? —
- Size of lot? 25 feet front; 25 feet rear; 93-6 feet deep.
- Size of building which it is proposed to alter or repair? 25 feet front; 25 feet rear; 46 ft feet deep. Number of stories in height? 4 and Bas. Height from curb level to highest point? 55 ft.
- Depth of foundation walls below curb level? 11 ft Material of foundation walls? stone  
Thickness of foundation walls? front 18 inches; rear 18 inches; side 18 inches; party — inches.
- Material of upper walls? Brick If ashlar, give kind and thickness —
- Thickness of upper walls:  
Basement: front 12 inches; rear 12 inches; side 12 inches; party — inches.  
1st story: " 12 " " 12 " " 12 " " " " "  
2d story: " 12 " " 12 " " 12 " " " "  
3d story: " 12 " " 12 " " 12 " " " "  
4th story: " 12 " " 12 " " 12 " " " "  
5th story: " " " " " " " " "  
6th story: " " " " " " " " "
- Is roof flat, peak or mansard? Flat.

57. How will cellar stairs be enclosed? \_\_\_\_\_
58. How cellar to be occupied? \_\_\_\_\_ Height of cellar ceiling above sidewalk? \_\_\_\_\_  
 How lighted and ventilated? \_\_\_\_\_  
 How made water-tight? \_\_\_\_\_
59. Give number of light and vent shafts \_\_\_\_\_  
 State materials to be used in their construction \_\_\_\_\_
60. Will shafts be open or covered with louvre skylights full size of shafts? \_\_\_\_\_  
 Size of each shaft? \_\_\_\_\_
61. Dimensions of windows for living rooms? \_\_\_\_\_
62. What doors will have fan lights? \_\_\_\_\_  
 Dimensions of same? \_\_\_\_\_
63. Of what materials will hall partitions be constructed? \_\_\_\_\_
64. Of what materials will hall floors be constructed? \_\_\_\_\_
65. How will hall ceilings and soffits of stairs be plastered? \_\_\_\_\_
66. How will halls be lighted and ventilated? \_\_\_\_\_
67. Of what material will stairways be constructed? \_\_\_\_\_
68. If any other building on lot, give size: front \_\_\_\_\_; rear \_\_\_\_\_; deep \_\_\_\_\_;  
 stories high \_\_\_\_\_; how occupied \_\_\_\_\_; on front or rear  
 of lot \_\_\_\_\_; material \_\_\_\_\_  
 How much space between it and proposed building? \_\_\_\_\_
69. How will floors and sides of water closets to the height of 16 inches be made waterproof? \_\_\_\_\_
70. Number and location of water closets: Cellar \_\_\_\_\_; 1st floor \_\_\_\_\_; 2d floor \_\_\_\_\_;  
 3d floor \_\_\_\_\_; 4th floor \_\_\_\_\_; 5th floor \_\_\_\_\_; 6th floor \_\_\_\_\_
71. Total area of shafts over 25 square feet? \_\_\_\_\_ Of courts? \_\_\_\_\_

Owner, Henry Kruppfeffer

Address, 48 St. Marks Place, NY

Architect, John Boese

" 280 Broadway, NY

Superintendent, "

" "

Mason, —

" —

Carpenter, —

" —



# BUREAU OF BUILDINGS

BOROUGH OF MANHATTAN, CITY OF NEW YORK

7379

**OFFICE OF BUILDINGS  
OF THE CITY OF NEW YORK**  
RECEIVED NOV 15 1930  
FOR THE BOROUGH  
OF MANHATTAN  
1930

NOTICE—This Application must be TYPEWRITTEN and TRIPPLICATE, and ONE copy sworn to by Applicant. If Elevator or Plumbing Applications are filed herewith, ONE AFFIDAVIT is sufficient for all. Plans must be filed on tracing Linen on Cloth.

**ALT.** APPLICATION No. 2377 1930

LOCATION #48 St. Marks Place, South Side, BLOCK 449 LOT 13  
175'-0" East of Second Avenue.

New York City, November 12th 1930.

To THE SUPERINTENDENT OF BUILDINGS:

Application is hereby made for approval of the plans and specifications herewith submitted, and made a part hereof, for the ALTERATION of the building therein described,—with the understanding that if no work is performed hereunder within one year from the time of issuance, this approval shall expire by limitation as provide by law; and the applicant agrees to comply with all provisions of the Building Code of the City of New York, and with the provisions of all other laws and rules relating to the alteration of said building in effect at this date

Work under this approval will not be commenced until a permit has been secured, application for which will be filed with the Superintendent of Buildings, accompanied by satisfactory evidence that compensation insurance has been obtained in accordance with the provisions of the Workmen's Compensation Law.

EXAMINED AND RECOMMENDED FOR APPROVAL ON Dec 1 - 24 1930

*J. J. [Signature]*  
Examiner  
Superintendent of Buildings, Borough of Manhattan

APPROVED 2-1930 193

STATE, COUNTY AND }  
CITY OF NEW YORK } ss. Walter H. Volckening  
Typewrite Name of Applicant

being duly sworn, deposes and says: That he resides at Number 145 West 48th Street  
, in the Borough of Manhattan  
in the City of New York, in the County of New York  
in the State of New York, that he is architect for the

owner in fee of all that certain lot, piece or parcel of land, shown on the diagram annexed hereto and made a part hereof, situate, lying and being in the Borough of Manhattan, City of New York aforesaid, and known and designated as Number 48 St. Marks Pl., South Side, 175' East of Second Avenue, and hereinafter more particularly described; that the work proposed to be done upon the said premises, in accordance with the accompanying detailed statement in writing of the specifications and plans of such proposed work including all amendments to the same which may be filed hereafter—and also all Elevator and Plumbing work

(if any) proposed to be done upon the same premises and specified in separate applications filed herewith, and all subsequent amendments thereto—is duly authorized by **First German M. E. Church** [Name of Owner or Lessee] and that **Walter H. Volckening**

duly authorized by the aforesaid Owner to make application or the approval of such detailed statement of specifications and plans (and amendments thereto) in its behalf.

Deponent further says that the full names and residences, street and number, of the owner or owners of the said land, and also of every person interested in said building or proposed building, structure or proposed structure, premises, wall, platform, staging or flooring, either as owner, lessee, or in any representative capacity, are as follows:

NAMES AND ADDRESSES

Owner **First German M. E. Church, 748 St. Marks Place, New York City.**

**Herman D. Glesen, Pastor, 748 St. Marks Place, New York City.**

**John Bachmier, Treasurer, 716 Elmore Pl., Brooklyn, N. Y.**

**Arthur Firl, Secretary, 40 Argyle Road, Brooklyn, N. Y.**

Lessee **Owner.**

Architect **Walter H. Volckening, R. A., 145 West 45th Street, N.Y. City.**

Superintendent **Architect**

The said land and premises above referred to are situate at, bounded and described as follows, viz.: BEGIN-

NING at a point on the **South** side of **St. Marks Place** distant **175'-0"** feet **east** from the corner formed by the intersection of **St. Marks Place** and **Second Avenue** running thence **East 25'-0"** feet; thence **South 97'-6"** feet; thence **West 25'-0"** feet; thence **North 97'-6"** feet

to the point or place of beginning,—being designated on the map as Block No. **449** Lot No. **13**

(SIGN HERE) *Walter H. Volckening* Applicant  
**145 West 45th St., N.Y.C.**

Sworn to before me, this **12th** day of **November** 19**30**.

*Amesbury*  
COMMISSIONER OF DEEDS  
N.Y. CO. CLERK'S OFFICE  
NOV. 12 1930

**ALTERATION  
APPLICATION**

**BUREAU OF BUILDINGS  
BOROUGH OF MANHATTAN  
CITY OF NEW YORK**

NOTE: ALL elevations and grades for curbs and sidewalks must be obtained from the Commissioner of Public Works, Municipal Building, New York City

# BUREAU OF BUILDINGS

BOROUGH OF MANHATTAN, CITY OF NEW YORK

**BUREAU OF BUILDINGS**  
CITY OF NEW YORK  
BOROUGH OF MANHATTAN  
received NOV 1 1930  
FOR THE BOROUGH OF MANHATTAN

NOTICE.—This Application must be TYPEWRITTEN and filed in TRIPPLICATE.  
"SPECIFICATIONS—SHEET A" (Form 152) must be filed with EVERY Alteration Application.  
"SPECIFICATIONS—SHEET B" (Form 158) must be filed in addition, in case the building is to be raised in height or occupancy changed so as to increase floor loads, or if the building is to be enlarged on one side.

**ALT.** APPLICATION No. 2377 1930 **193** BLOCK 449 LOT 13

LOCATION 748 St. Marks Place, South Side, 175' East of Second Avenue

DISTRICT (under building zone resolution) Use Business Height 1 1/2 Area B

Examined.....193..... Examiner.

## SPECIFICATIONS—SHEET A

(1) NUMBER OF BUILDINGS TO BE ALTERED one  
Any other building on lot or permit granted for one? no

(2) ESTIMATED COST OF ALTERATION: \$ 2500.00

(3) OCCUPANCY (in detail):  
Of present building  
Basement:- School rooms.  
First Floor:- Church meeting room.  
2nd Floor:- Pastor's apartment, 5 rooms and bath.  
3rd Floor:- Girl's home, 4 rooms and bath.  
4th Floor:- Pastor's Study and 3 spare rooms.

Of building as altered S A M E . A S A B O V E .

(4) SIZE OF EXISTING BUILDING:  
At street level 25'-0" feet front 60 feet deep  
At typical floor level 25'-0" feet front 46 feet deep  
Height basement and four stories 55'2" feet

(5) SIZE OF BUILDING AS ALTERED:  
At street level 25'-0" feet front 60 feet deep  
At typical floor level 25'-0" feet front 46 feet deep  
Height basement and four stories 55'8" feet

(6) CHARACTER OF CONSTRUCTION OF PRESENT BUILDING: Ordinary  
[Frame, Ordinary or Fireproof]

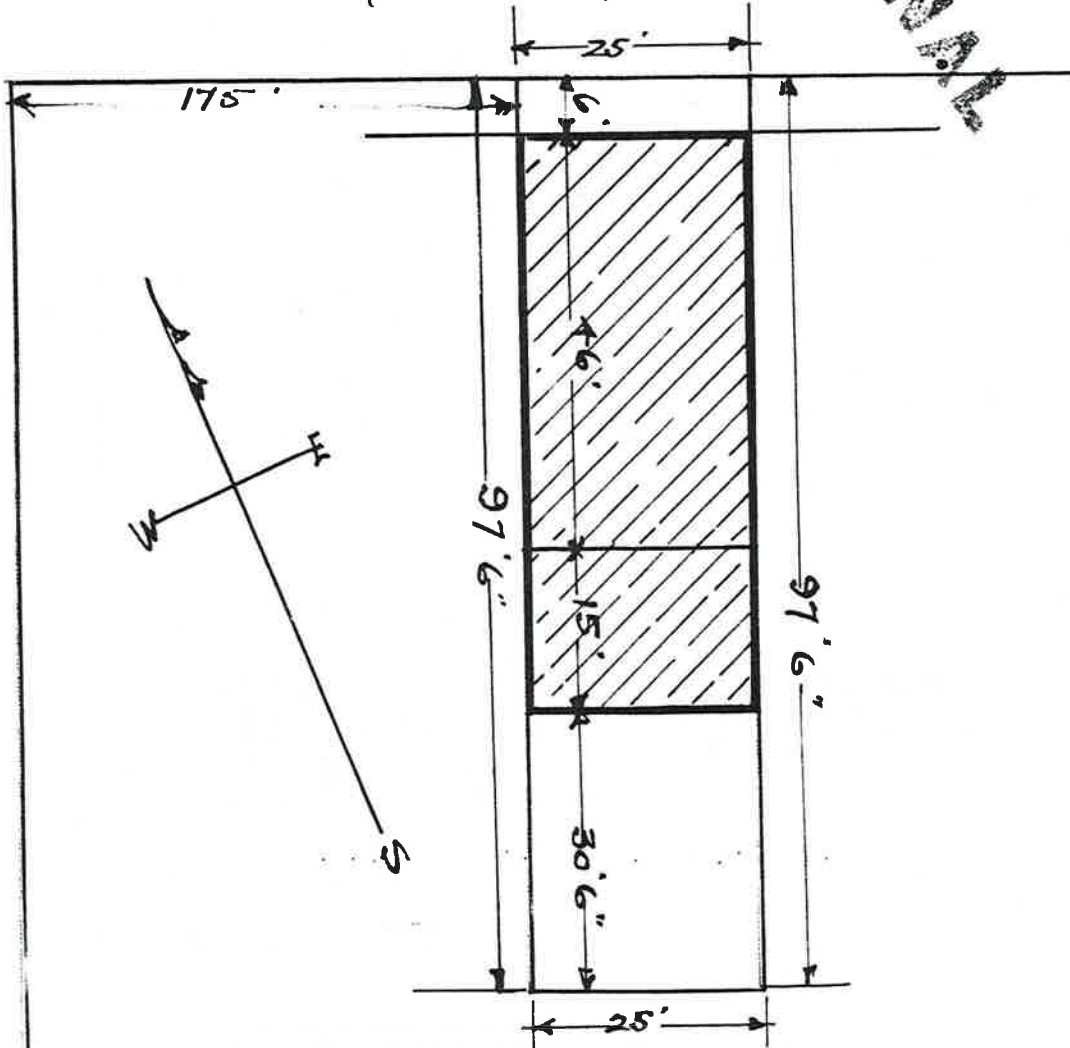
(7) NUMBER OF OCCUPANTS (in each story of building as altered, giving males and females separately in the case of factories):  
Basement:- 25 average  
First Fl:- 50 "  
2nd Fl:- 3  
3rd Fl:- 4  
4th Fl:- 1

(8) STATE GENERALLY IN WHAT MANNER THE BUILDING WILL BE ALTERED:  
It is proposed to level the present roof to drain to rear. New stairs from third to fourth floors and from fourth floor to roof. New bulkhead on roof. New window frames and sash front and rear fourth floor.



ORIGINAL

ST MARKS PL.  
(8<sup>th</sup> ST.)



SECTION 2  
BLOCK 119  
LOT 13

BUREAU OF BUILDINGS  
OF THE CITY OF NEW YORK

Received NOV 15 1930

FOR THE BOROUGH  
OF MANHATTAN

SCALE 1/4" = 10 FEET

ALTERATIONS TO  
FIRST GERMAN M. E. CHURCH  
48 ST MARKS PL. N. Y. C.

Oct. 23<sup>rd</sup> 1930

WALTER H. VOLCKENING R.A.  
ARCHITECT  
145 WEST 45<sup>th</sup> ST N.Y.C.