

541

Original

3211

DETAILED STATEMENT OF SPECIFICATIONS FOR ALTERATIONS, ADDITIONS, OR REPAIRS TO BUILDINGS, ALREADY ERECTED.

B 449

L 12

- 1. State how many buildings to be altered, *one*
- 2. What is the Street or Avenue, and the number thereof, *16 St. Marks Place*
- 3. Ward, *17th*

PRESENT BUILDING.

Give the following information as to the present building :

- 1. Size of lot on which it is located, No. feet front, *25* ; feet rear, *25* ; feet deep, *100*
- 2. Size of building, No. feet front, *25* ; feet rear, *25* ; feet deep, *60* ; No. of stories in height, *4 1/2* ; No. of feet in height, from curb level to highest point, *52.0*
- 3. Material of Building, *brick* ; Material of Front, *limestone*
- 4. Whether roof is Peak, Flat, or Mansard, *flat*
- 5. Material of Roofing, *tile*
- 6. Depth of foundation walls, *10* feet. Thickness of foundation walls, *24* inches. Material of foundation walls, *stone*
- 7. Thickness of upper walls, *12* inches. Material of upper walls, *brick*
- 8. Whether Independent or Party-walls, *independent*
- 9. Whether there is any other building on the lot, *no*
- 10. How the building is occupied, *Private Dwelling*

HOW TO BE ALTERED.

IF RAISED OR BUILT UPON,

Give the following information :

- 1. How many stories will the building be when raised,
- 2. How many feet high will the building be when raised,
- 3. Will the roof be Flat, Peak, or Mansard,
- 4. What will be the material of roofing,
- 5. What will be the material of cornices and gutter,
- 6. What will be the means of access to roof,
- 7. Will a Fire-escape be provided, if required,
- 8. Will Iron shutters be provided, if required,
- 9. How will the building be occupied,

*H. B. G. 10/10
Nov 2 1915*

IF EXTENDED ON ANY SIDE.

Give the following information:

1. Size of extension, No. of feet front, 10'0"; feet rear, 10'0"; feet deep, 25'0"; No. of stories in height, 4 back; ^{cellar} No. of feet in height, 5'3"
2. What will be the material of foundation walls of extension, Stone. What will be the depth, 10 feet. What will be the thickness, 24 inches.
3. What will be the material of upper walls of extension brick. How thick will the upper walls be, 12 inches.
4. Will the roof of extension be Flat, Peak, or Mansard, flat
5. What will be the material of roofing, tin
6. What will be the material of cornice and gutter, tin
7. Will iron shutters be provided, if required, —
8. How will the extension be occupied, Kitchen on each of the 2nd and 3rd stories, ~~cellar~~ basement, and for bedrooms.
9. How will the extension be connected with present or main building, by doors

IF ALTERED INTERNALLY.

Give definite particulars, and state how the building will be occupied, and if for a dwelling, state by how many families.

IF THE FRONT, REAR, OR SIDE WALLS, OR ANY PORTION THEREOF, ARE TO BE TAKEN OUT AND REBUILT.

Give Definite particulars, and state in what manner.

THE FOLLOWING INFORMATION IS ALSO REQUIRED.

1. If the building is to be occupied as a tenement building after the proposed alteration, will it be altered in every respect to conform with the provisions of Section 28 of the Building Law, —

2. How much will the Alteration cost, \$ 1100

3. Will all materials and workmanship be in accordance with the provisions of the Law, yes

Owner H. H. Moore Address 46 St. Mark Place

Architect Julius Beckell Address 233 Grand St. Cor. Berny

Mason — Address —

Carpenter — Address —

Residence
1 1/2
B
S.R.J. 12/23/41

DEPARTMENT OF HOUSING AND BUILDINGS

BOROUGH OF MANHATTAN, CITY OF NEW YORK

MANHATTAN
Municipal Bldg.,
Manhattan

BROOKLYN
Municipal Bldg.,
Brooklyn

BRONX
Bronx County Bldg.,
Grand Concourse & E. 161st St.

QUEENS
120-55 Queens Blvd.,
Kew Gardens

RICHMOND
Borough Hall,
St. George, S. I.

NOTICE—This Application must be TYPEWRITTEN and filed in QUADRUPPLICATE.

ALTERED BUILDING

ALT. APPLICATION No. 194 BLOCK 449 LOT 12

LOCATION 46 St. Marks Place

DISTRICT (Under Building Zone Resolution) USE RES. HEIGHT 1 1/2 AREA B.

Applicant should give zoning; it will then be checked

EXAMINED AND RECOMMENDED

FOR APPROVAL ON 12/22 1941

T. V. Burke

A. Bergen
Examiner

APPROVED 194

Borough Superintendent.

SPECIFICATIONS

- (1) NUMBER OF BUILDINGS TO BE ALTERED one
 Any other building on lot or permit granted for one? no
 Is building on front or rear of lot? front

(2) ESTIMATED COST OF ALTERATION: \$ 8,000.

(3) PROPOSED OCCUPANCY: Converted Multiple Dwelling Class A.

(NOTE: If a multiple dwelling, authorization of owner must be filed.)

STORY (Include cellar and basement)	BEFORE ALTERATION			AFTER ALTERATION						
	APTS.	ROOMS	USE	LIVE LOAD	NO. OF PERSONS			APTS.	ROOMS	USE
					MALE	FEMALE	TOTAL			
Cellar			boiler room storage							boiler room storage
Basement Fl.		3	Club Room				2	4		apartments
1st. Fl.	I	2	apartment				1	3		apartment
2nd. Fl.	I	6	apartment				2	5		apartments
3rd. Fl.	I	6	apartment				2	5		apartments
4th. Fl.	I	5	apartment				2	5		apartments

(4) SIZE OF EXISTING BUILDING:

At street level 25 feet front 61' & 80'-6" feet deep 10 & 25 feet rear
 At typical floor level 25 feet front 61' & 80'-6" feet deep 10 & 25 feet rear
 Height¹ 4 & B. stories 53 feet

(5) SIZE OF BUILDING AS ALTERED: NO CHANGES

At street level feet front feet deep feet rear
 At typical floor level feet front feet deep feet rear
 Height¹ stories feet

If volume of building is to be increased, give the following information:

(6) AREA² OF BUILDING AS ALTERED: At street level Total floor area² sq. ft.

(7) TOTAL HEIGHT³ Cubic Contents⁴ cu. ft.

- The term "height" of a structure shall mean the vertical distance from the curb level to the highest point of the roof beams in the case of flat roofs or to a point at the average height of the gable in the case of roofs having a pitch of more than one foot in four and one-half, except that in the case of structure where the grade of the street has not been legally established or where the structure does not adjoin the street, the average level of all the ground adjoining such structures shall be used instead of the curb level.
- In computing this area, measurement shall be taken to the outside surfaces of exterior walls at each floor. Courts, yards, etc., shall be excluded. The areas of cellars and basements shall not be included.
- Total height shall be measured from 6 inches below the lowest finished floor to the outside of the roof, and in case of sloping roofs, to the average height.
- The cubical contents is the actual space enclosed within the outer surfaces of the outside walls and between the outer surface of the roof and six inches below the surface of the lowest floors. This includes the cube of dormers, penthouses, vaults, pits, enclosed porches, and other enclosed appendages. Outside steps, terraces, footings, courts, yards, light shafts and buildings detached from the main structure are not to be included. (Detached structures are to be separately computed.)

(8) CHARACTER OF PRESENT BUILDING:

Frame—		Fire-Protected—
Non-fireproof—	NON-FIREPROOF	Metal—
Fireproof—		Heavy Timber—

(9) STATE GENERALLY IN WHAT MANNER THE BUILDING WILL BE ALTERED:

On all floors except first, one apartment each floor will be converted into two apartments.

~~New building will be constructed.~~ 18. 1/22/41

New fire escape will be erected.

Partition changes will be made, new bathrooms will be added.

Certificate of Occupancy will be applied for.

If the building is to be raised in height or if the occupancy is changed so that the floor loads will be increased, information as to the EXISTING BUILDING and the thickness of existing walls and size of footings must be clearly shown on the plans.

If the building is to be enlarged or extended, the nature of soil must be indicated and plans must clearly show material and thickness of footings, foundations, upper walls, partitions, roofing, fireproofing, interior finish, window frames and sash and details of equipment installations.

REMARKS:—

State which mechanical work will be installed:

(Proper form must be filed)

Standpipe:

Sprinklers:

Fuel Oil:

Tanks:

Electrical:

Heating: System Fuel

Air cooling, refrigeration:

Miscellaneous (describe):

Plumbing:

Is street on which building is to be erected now provided with a public sewer?

If not, what disposition will be made of waste and sewage?

.....

.....

REMARKS:—

Inspector,

2511

DEPARTMENT OF HOUSING AND BUILDINGS

BOROUGH OF MANHATTAN, CITY OF NEW YORK

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120-55 Queens Blvd.,
Kew Gardens

RICHMOND
Boro Hall,
St. George, S. I.

NOTICE—This Application must be TYPEWRITTEN and filed in QUADRUPPLICATE, and one copy sworn to by Applicant. If Elevator or Plumbing Applications are filed herewith, one affidavit is sufficient for all.

AFFIDAVIT FORM A

APPLICATION No. 194 BLOCK 449 LOT 12

Give Street No. and

LOCATION 46 St. Marks Place

FEES REQUIRED FOR

To THE BOROUGH SUPERINTENDENT:

Application is hereby made for approval of the plans and specifications herewith submitted and to be made a part hereof for the structure herein described, with the understanding that:

If this application shall be disapproved in part and if no further action is taken thereon within one year after notice of partial disapproval, it shall be automatically withdrawn.

Any permit issued under which no work is commenced within one year from the time of issuance shall expire by limitation. (Administrative Code C26-177.0).

Work will be supervised by Licensed Architect, Professional Engineer or by a Superintendent of Construction who has had ten years' experience supervising building construction and who has been properly qualified. (Adm. Code C26-187.0).

Work under this approval will not be commenced until a permit has been obtained, application for which will be filed with the Borough Superintendent, accompanied by satisfactory evidence that compensation insurance has been obtained in accordance with the provisions of the Workmen's Compensation Law. (Adm. Code C26-161.0).

EXAMINED AND RECOMMENDED
FOR APPROVAL ON 12/22, 1941

J.D. T.H. Burke A. Bergen
Examiner

APPROVED DEC 23 1941 194

Borough Superintendent

STATE AND CITY OF NEW YORK }
COUNTY OF New York } ss.:

Harry Silverman

(Typewrite name)

being duly sworn, deposes and says: That he resides at 17 East 48th Street

in the City of New York, in the Borough of Manhattan

in the State of New York, that he is making this application for the approval of plans and specifications herewith submitted and made part hereof, for the building therein described. Deponent further

says that he has personally supervised the preparation of the architectural plans and that to the best of his knowledge and belief, the work will be carried out in compliance therewith, and the structure, if built in accordance with such plans, will conform with all the provisions of the Building Code of the City of New York and with the provisions of all other laws and regulations applicable thereto in effect on this date.

(Architectural, Structural or Mechanical, etc.)

Deponent further says that he is duly authorized by Charles Guerrieri, Owner who is the sole owner in fee of all that certain lot, piece or parcel of land, shown on the diagram annexed hereto and made a part hereof, to make application for the approval of such detailed statements of specifications and plans, elevator or plumbing work (if any) and amendments thereto, in the

Charles Guerrieri behalf.

(Owner's or Lessee's)

Deponent further says that the full names and residences, street and number, of the owner or owners of the said land, and also of every person interested in said building or proposed structure are as follows:

Owner Charles Guerrieri 46 St. Marks Place

(If a Corporation, give full name and addresses of at least two officers)

Lessee..... Address.....

Architect Harry Silverman Address 17 East 48th Street

Engineer..... Address.....

Superintendent..... Address.....

The said land and premises above referred to are situated, bounded and described as follows, viz.:
 BEGINNING at a point on the **south** side of **St. Marks Place**
 distant **150** feet **east** from the corner formed by the intersection of
St. Marks Place and **2nd Avenue**
 running thence **south 97'-6"** feet; thence **east 25** feet;
north 97'-6" feet, thence **west 25** feet;

to the point or place of beginning,—being designated on the map as
 Block No. **449** Lot No. **12**

(SIGN HERE) Stan Silverman Applicant

Sworn to before me, this **17**
 day of **November** 194**1**

JULIUS C. TORTORICE
 COMMISSIONER OF DEEDS, NEW YORK CITY
 KINGS COUNTY CLERK'S No. 1
 KINGS COUNTY REGISTER'S No. 2002
 COMMISSION EXPIRES MARCH 4, 1943

Affix Seal of Registered
 Architect or Professional
 Engineer Here.

Notary Public or Commissioner of Deeds.

Note:—If building is a Multiple Dwelling, authorization of owner is required on Form 95R.

Above Block and Lot Verified 11-18-41 1941

Department of PS

PLOT DIAGRAM

The lot lines and exterior walls of the building must be drawn to indicated scale. Show dimensions of lot, building, courts and yards.

The following information must be obtained within three months of filing from the departments and bureaus concerned and verified by them. A diagram must be made showing the correct street lines from the city plan; the plot to be built upon in relation to the street lines and the portion of the lot to be occupied by the building; the legal grades of streets at nearest points from the proposed buildings in each direction; the house numbers; and the Block and Lot numbers. The data for the above may be obtained from the Bureau of Highways, and the Tax Department.

House Number Dated.....194..... Bureau of

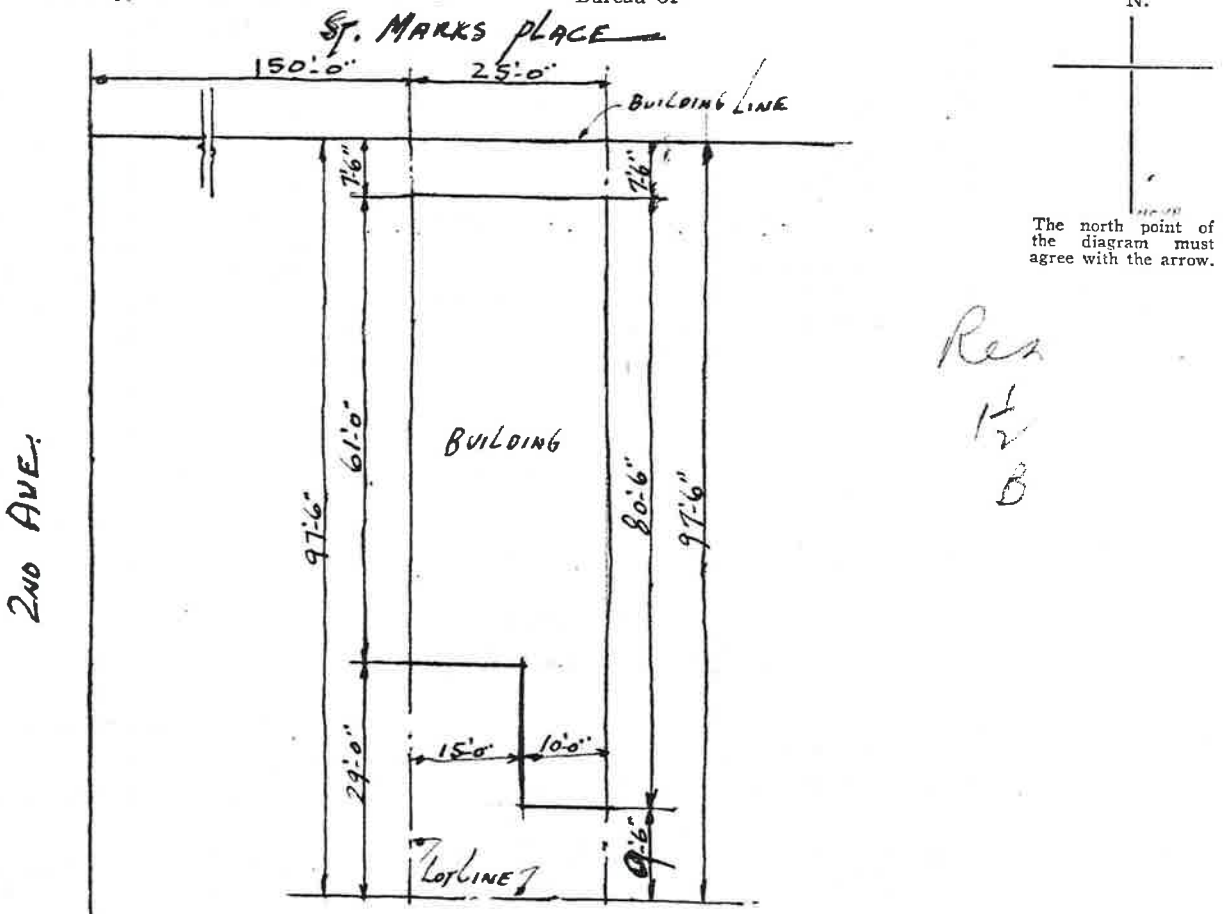
Status of Street: private— ; public highway— ; etc.—

The legal width of.....is.....ft.; sidewalk width should be.....ft.

The legal width of.....is.....ft.; sidewalk width should be.....ft.

The street lines as shown in the diagram are substantially correct. Proposed changes in street lines and grades, if any, are indicated in red. The legal grades are indicated on the diagram thus 25.00.

Dated.....194..... Bureau of



SCALE 1"=25'-0"

2ND AVE.

Res
1
1/2
0

The north point of the diagram must agree with the arrow.