

447

ORIGINAL

201

Form 1-1902

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Office of the Borough President of the Borough of Manhattan, In The City of New York.

THE BUREAU OF BUILDINGS FOR THE BOROUGH OF MANHATTAN

Office, No. 220 FOURTH AVENUE,

S. W. Corner 18th Street.

Plan No. 301

APPLICATION FOR ERECTION OF BRICK BUILDINGS

Application is hereby made to the Superintendent of Buildings of The City of New York, for the Borough of Manhattan, for the approval of the detailed statement of the specifications and plans herewith submitted, for the erection of the building herein described. All provisions of the law shall be complied with in the erection of said building whether specified herein or not.

(Sign here) Bernstein & Bernstein

THE CITY OF NEW YORK,

BOROUGH OF MANHATTAN, Mar. 1903

- 1. State how many buildings to be erected. One
2. What is the exact location thereof? (State on what street or avenue; the side thereof, the number of feet from the nearest street or avenue, and the name thereof) N.E. Cor. 2nd Ave & 5th St
3. Will the building be erected on the front or rear of lot? Front
4. How to be occupied? Tenement + stores
5. Size of lot? 48'-6" feet front; 48'-6" feet rear; 75' feet deep
6. Size of building? 48'-6" feet front; 48'-6" feet rear; 67'-6" feet deep
7. What is the character of the ground: rock, clay, sand, etc.? Sand
8. Will the foundation be laid on earth, rock, timber or piles? Earth
9. Will there be a cellar? Yes
10. What will be the base, stone or concrete? Concrete
11. What will be the depth of foundation walls below curb level or surface of ground? 10 ft
12. Of what will foundation walls be built? Brick
13. Give thickness of foundation walls: front, 20 inches; sides, 20 inches; rear, 20 inches; party, 20 inches.

Handwritten initials

14. Will interior supports be brick partition walls or piers, iron columns or wooden posts?.....

Give size of same.....

15. If piers, give thickness of cap stones or plates..... bond stones or plates.....

16. Give base course, width and thickness.....

17. Will any part of front, side or rear wall be supported on piers in cellar?..... *Yes*

Give size: front *28x28; 24x28* size of base course.....

rear ..... " " " } *20" thick & 12" wide*

side ..... " " " } *then piers all around*

Size of cap stones..... *12" thick & size of piers* size of bond stones..... *4" thick & size of piers*

18. Of what materials will the upper walls be constructed?..... *Brick*

What will be thickness of upper walls, exclusive of ashlar, if any?

Basement: front ..... inches; rear ..... inches; side ..... inches; party..... inches

1st story: " *16* " " *16* " " *16x20* " *16* "

2d story: " *16* " " *16* " " *16* " " *16* "

3d story: " *12* " " *12* " " *16* " " *12* "

4th story: " *12* " " *12* " " *16* " " *12* "

5th story: " *12* " " *12* " " *16* " " *12* "

6th story: " *12* " " *12* " " *16* " " *12* "

7th story: " " " " " " " " " "

19. What will be the materials of the front?..... *Brick* If of stone, what kind?

..... If ashlar, give thickness.....

20. Will flues be lined with pipe or have 8 inches of brick around the same?..... *Clay pipe*

21. Will any wall be supported on iron or steel girders?..... *Yes*

Front, material *Steel* size *3-12"-40* *16* *3-12"-31 1/2* *16* weight or thickness.....

Side, " *11* " *3-15"-42* *16* " " ".....

Rear, " " " " " " ".....

Interior, " *Steel* " *3-12"-31 1/2* *16* " " ".....

Will any wall be supported on iron or steel columns?..... *Yes*

Front, material *C.I.* size *10" dia x 11"* *12x16x1 1/2* weight or thickness.....

Side, " " " " " " ".....

Rear, " " " " " " ".....

Interior, " " " " " " ".....

22. Give material of girders..... of columns.....

Under 1st tier, size of girders.....; size of columns.....

" 2d tier, " " " " " ".....

" 3d tier, " " " " " ".....

" 4th tier, " " " " " ".....

" 5th tier, " " " " " ".....

" Roof tier, " " " " " ".....





43. How made? .....
44. How will cellar stairs be enclosed? *in court*
45. How cellar to be occupied? *Stores & storage*  
How made water-tight? *Court*
46. Will shafts be open or covered with louvre skylights full size of shafts? *see drawings of plan*  
Size of each shaft? *see drawings*
47. Dimensions of water closet windows? *see drawings*  
Dimensions of windows for living rooms? *see drawings*
48. Of what materials will hall partitions be constructed? *8x12 Brick walls*
49. Of what materials will hall floors be constructed? *4" thick regular bonded brick pavers*
50. How will hall ceilings and soffits of stairs be plastered? *Iron stairs*
51. Of what material will stairways be constructed? *Iron*  
Give sizes of stair well holes *4"*
52. If any other building on lot, give size: front .....; rear .....; deep .....; stories high .....; how occupied .....; on front or rear of lot: .....; material .....  
How much space between it and proposed building? .....
53. How will floors and sides of water closets to the height of 16 inches be made waterproof? *Slats*
54. Number and location of water closets: Cellar .....; 1st floor .....; 2d floor *4* .....; 3d floor *4* .....; 4th floor *4* .....; 5th floor *4* .....; 6th floor *4* .....; 7th floor .....
55. What is the estimated cost of each building, exclusive of lot? \$ *65,000*
56. What is the estimated cost of all the buildings, exclusive of lots? \$ .....
- Owner, *Julius Weinstein* Address, *192 Bowery*  
Architect, *Bernstein & Bernstein* " *111 Bowery*  
Superintendent, *Owner* " "  
Mason, " "  
Carpenter, " "

If a Wall, or Part of a Wall already built is to be used, fill up the following:

THE CITY OF NEW YORK,  
BOROUGH OF MANHATTAN, ..... 190

The undersigned gives notice that ..... intend to use the: ..... wall of building .....

as party wall in the erection of the building hereinbefore described, and respectfully requests that the same be examined and a permit granted therefor. The foundation wall ..... built of ..... inches thick, ..... feet below the upper wall ..... built of ..... inches thick, ..... feet deep, ..... feet in height.

(Sign here) .....

# Department of Buildings of The City of New York.

**THOMAS J. BRADY,**

President of the Board of Buildings and  
Commissioner of Buildings for the Bor-  
oughs of Manhattan and The Bronx.

Office, No. 220 Fourth Avenue, S. W. cor. 18th Street,  
Borough of Manhattan.

**JOHN GUILFOYLE,**

Commissioner of Buildings for  
the Borough of Brooklyn.

Office, Borough Hall, Borough of Brooklyn.

**DANIEL CAMPBELL,**

Commissioner of Buildings for the Bor-  
oughs of Queens and Richmond.

Office, Richmond Building, New Brighton, Staten Island,  
Borough of Richmond.

Branch Office, Town Hall, Jamaica, Long Island,  
Borough of Queens.

Borough of Manhattan,

The City of New York, April 9th, 1903. 190

Amendment to Application No. 201 N. B, 1903

Location N.E. corner of 2nd Avenue and 5th Street-

- ✓ (1) Duplicate plans, elevations and sections of all portions of the structure projecting beyond the building line is filed this day.
- ✓ (2) Show windows will be flush with building line.
- ✓ (3) Floor beams at long spans will be spaced 12" on centres.
- ✓ (4) Floor beams supporting stud partitions will be doubled.
- ✓ (5) Brick partition wall in centre part will be made 4" thicker on 2nd and upper stories.
- ✓ (6) Piers on both sides of entrance will be increased in size as shown on plans this day.
- ✓ (7) All piers of first story under steel girders supporting upper stories will be laid in cement; same applies to 1st story rear and inner cross wall supporting upper rear wall.
- ✓ (8) Detail drawing is filed showing support of front steel girders by 9" columns, will have 2" thick cast iron brackets.
- ✓ (9) Recesses in rear of stairway will have fireproof floor of 4" thick regular bonded brick arches and slate on top of cement bed.
- ✓ (10- 12" steel beams over 1st story supporting rear and centre brick partitions will be made stronger by putting in extra beams where shown on drawings.
- ✓ (11) There will be no party wall as amended this day.
- ✓ (12) Pier in gable wall will be laid in cement mortar.
- ✓ (13) Both building lines are shown on plans.
- ✓ (14) Area wall is braced where shown on drawings this day.
- ✓ (15) Front and side elevations are filed this day.
- ✓ (16) Template under girder ends are 12" thick granites by size of all piers.

*M. Bernstein*

*See action on other side.*

ORIGINAL.

PRESIDENT BOROUGH OF MANHATTAN,  
CITY HALL.

No. 1007

*D*

New York, Dec 11 1903  
*Bernstein + Bernstein*

Permission is hereby given to *show* to construct *show* bay-window on the building situate at and known as  
*N. E. Cor Second Ave + 5th St*

*show* said bay-window to be *one* feet in width and *67-* feet in length, outside face measurement, exclusive of cornices, pilasters and trim. Extent of projection to be *one ft.* stories to be occupied *one -*. The total space occupied to be *67 -* square feet, in payment for which the rate of compensation has been fixed at *10* dollars per square foot.

The person or persons to whom this permit is issued hereby agrees that the erection, construction and maintenance of the bay-window hereby mentioned shall be constructed and maintained in accordance with the general ordinances relating thereto.

This permit is issued subject to revocation thereof at any time hereafter by the Board of Aldermen of The City of New York, upon the recommendation of the Commissioner having jurisdiction, when the space occupied by said bay, or any portion thereof, may be required for any public improvement; or upon any violation of any of the terms or conditions upon which this permit is issued.

Received from *Bernstein + Bernstein*  
the sum of *Six* <sup>75</sup>/<sub>100</sub> Dollars.

*Henry Cantor*  
Clerk.  
President Borough of Manhattan.

*Anthony Chishley*  
Cassler.  
*Fritz Mottley*  
Commissioner of Public Works.



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REPORT UPON APPLICATION.

The Bureau of Buildings for the Borough of Manhattan.

THE CITY OF NEW YORK,

BOROUGH OF MANHATTAN,.....190

To the Superintendent of Buildings for the Borough of Manhattan.

I respectfully report that I have thoroughly examined and measured the wall... etc., named in the foregoing application, and found the foundation wall.. to be built of..... inches thick, .....feet below curb, the upper wall.. built of.....inches thick,..... feet deep,.....feet in height, and that the mortar in said wall.. is..... hard and good. The.....wall.....built as a party wall.....and..... in a good and safe condition to be used as proposed.

What is the nature of the ground?.....

What kind of sand was used in the mortar?.....

(The Inspector must here state what defects, if any, are in the walls.)

(The Inspector must state the thickness of walls in each and every story.)

.....

Inspector.

REPORT OF INSPECTOR AS TO COMMENCEMENT OF WORK.

THE CITY OF NEW YORK,

BOROUGH OF MANHATTAN,.....Feb 1.....190 4

To the Superintendent of Buildings for the Borough of Manhattan.

Work was commenced on the within described building on the.....15.....day of.....April.....190 3

Respectfully submitted,

Wm J. McKeon Inspector.

FINAL REPORT OF INSPECTOR.

THE CITY OF NEW YORK,

BOROUGH OF MANHATTAN,.....Feb 1.....190 4

To the Superintendent of Buildings for the Borough of Manhattan.

Work was completed on the within described building on the.....16.....day of.....January.....190 4 and all the iron and steel girders, beams and columns are properly set, and of size as per application, and all work upon said building has been done in accordance with the foregoing detailed statement, except as noted below.

Respectfully submitted,

Wm J. McKeon Inspector.

REMARKS.

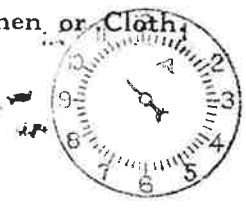
.....

*J. J. ...*  
32-33-15-B-30800  
MAY 5 1917  
891

# BUREAU OF BUILDINGS

BOROUGH OF MANHATTAN, CITY OF NEW YORK

NOTICE—This Application must be TYPEWRITTEN and filed in TRIPLICATE, and ONE copy sworn to by Applicant. If Elevator or Plumbing Applications are filed herewith, ONE AFFIDAVIT is sufficient for all. Plans must be filed on tracing Linen or Cloth.



ALT. APPLICATION No. 891 191

LOCATION NEC. 5th Street (#301E.) & 2d. Ave (88-90) BLOCK 447 LOT 1

When properly signed by the Superintendent of Buildings of the Borough of Manhattan, this application becomes a PERMIT as required by the Building Code of The City of New York, to perform such work as is described in the foregoing statement and the attached plans and specifications which are a part hereof.

EXAMINED AND RECOMMENDED FOR APPROVAL ON 5/5 191  
C. A. ...  
Examiner

APPROVED MAY 5 1917 191  
...  
Superintendent of Buildings, Borough of Manhattan

New York City, 4/13/17 191

TO THE SUPERINTENDENT OF BUILDINGS:

Application is hereby made for approval of the plans and specifications herewith submitted, and made a part hereof, for the ALTERATION of the building therein described,—with the understanding that if no work is performed within one year from the time of issuance, this approval shall expire by limitation as provided by law; and the applicant agrees to comply with all the rules and regulations of the Bureau of Buildings for the Borough of Manhattan, all provisions of the Building Code of The City of New York, and with every other provision of law relating to this subject in effect at this date.

Frederick J. Berger, Architect, doing business under style of Bruno W. Berger & Son, Architects

STATE, COUNTY AND }  
CITY OF NEW YORK } ss.: \_\_\_\_\_  
Typewrite Name of Applicant

being duly sworn, deposes and says: That he resides at Number 121 Bible House  
in the Borough of Manhattan  
in the City of New York, in the County of New York  
in the State of New York, that he/s/ Flora Propos

owner in fee of all that certain lot, piece or parcel of land, shown on the diagram annexed hereto and made a part hereof, situate, lying and being in the Borough of Manhattan, City of New York aforesaid, and known and designated as Number 88-90 2d. Ave & 301 E 5th Street

and hereinafter more particularly described; that the work proposed to be done upon the said premises, in accordance with the accompanying detailed statement in writing of the specifications and plans of such proposed work, including all amendments to the same which may be filed hereafter—and also all Elevator and Plumbing work



INSPECTOR DIVISION  
**BUREAU OF BUILDINGS**  
BOROUGH OF MANHATTAN, CITY OF NEW YORK



APR 16 1917 P.M.

**ALT.** APPLICATION No. 891 1917

LOCATION 301 East 5th St - 88/90 Second Ave NE 2

REFERRED TO INSPECTOR 4/16 1917, FOR IMMEDIATE REPORT AS TO OCCUPANCY:

Basement	<u>Storage</u>	6th Floor	<u>4 families</u>
1st Floor	<u>Stor</u>	7th Floor	
2d Floor	<u>4 families</u>	8th Floor	
3d Floor	<u>" "</u>	9th Floor	
4th Floor	<u>" "</u>	10th Floor	
5th Floor	<u>" "</u>		

Is Building Fireproof? no

Remarks :  
\_\_\_\_\_  
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**RECEIVED**  
APR 18 1917  
ENGINEERING DIVISION  
BUREAU OF BUILDINGS

(Dated) April 18 1917

(Signed) Hugh Dolan

Inspector G. Dist

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# BUREAU OF BUILDINGS

## BOROUGH OF MANHATTAN, CITY OF NEW YORK

NOTICE—This Application must be TYPEWRITTEN and filed in TRIPLICATE.

“SPECIFICATIONS—SHEET A” [Form 152] must be filed with EVERY Alteration Application.

“SPECIFICATIONS—SHEET B” [Form 158] must be filed, in addition, in case the building is to be raised in height or occupancy changed so as to increase floor loads, or if building is to be enlarged on one side.

ALT. APPLICATION No. 891 191

LOCATION NEC. 5th Str (301E.) & 2d. Ave (88-90) Block 447 lot 1.

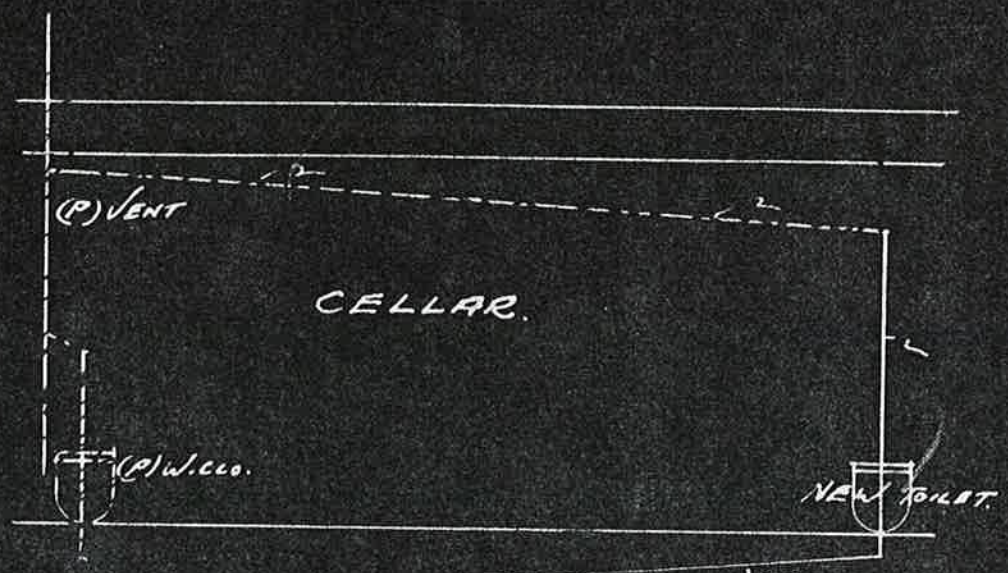
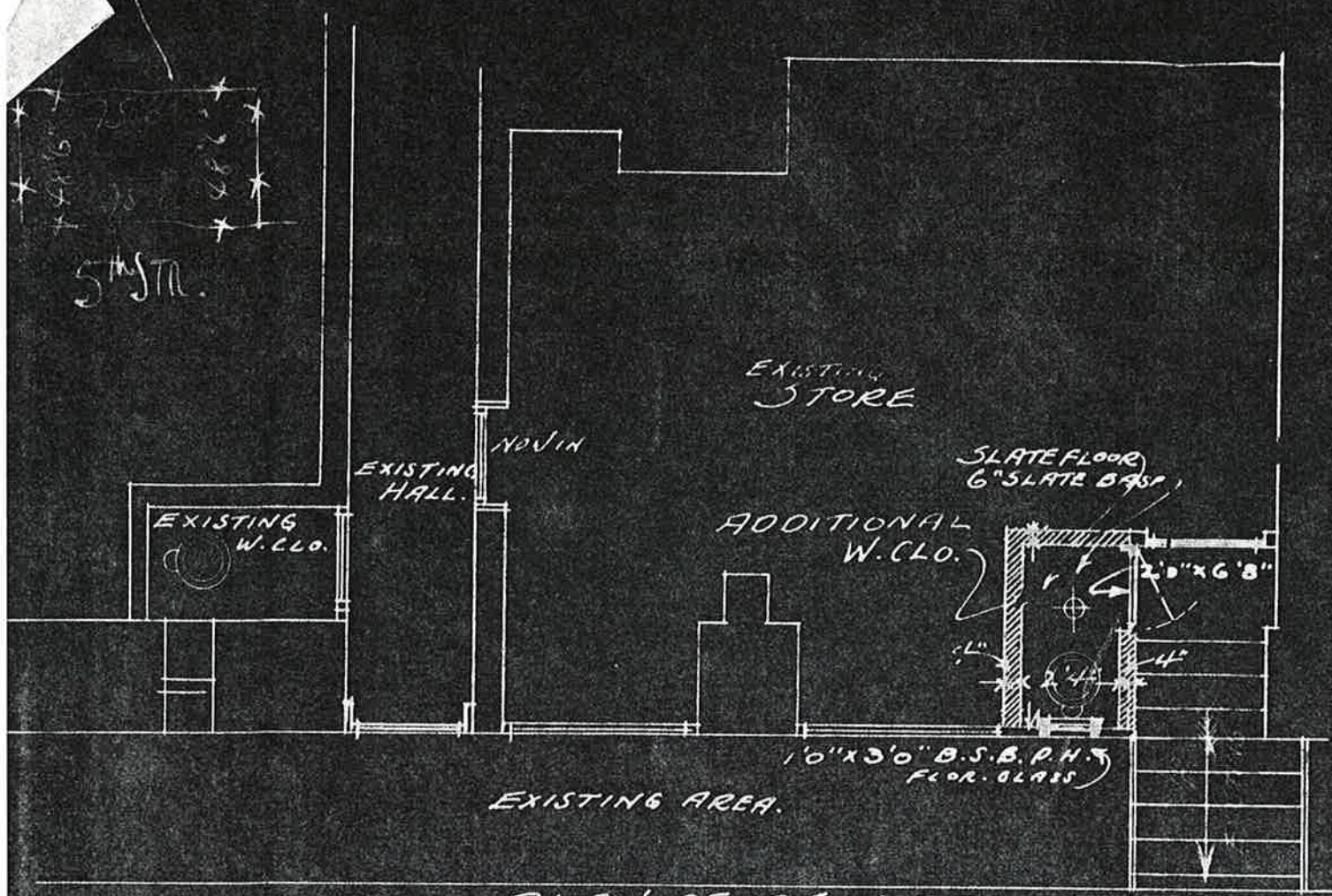
Examined.....191

Examiner

### SPECIFICATIONS—SHEET A

- (1) NUMBER OF BUILDINGS TO BE ALTERED 1  
Any other building on lot or permit granted for one? no
- (2) ESTIMATED COST OF ALTERATION: \$ 150.00
- (3) OCCUPANCY (in detail):  
Of present building Tenement  
Of building as altered Tenement
- (4) SIZE OF EXISTING BUILDING:
- |                        |              |            |           |           |
|------------------------|--------------|------------|-----------|-----------|
| At street level        | <u>48'6"</u> | feet front | <u>75</u> | feet deep |
| At typical floor level | <u>48'6"</u> | feet front | <u>75</u> | feet deep |
| Height                 | <u>6</u>     | stories    | <u>60</u> | feet      |
- (5) SIZE OF BUILDING AS ALTERED:
- |                        |              |            |           |           |
|------------------------|--------------|------------|-----------|-----------|
| At street level        | <u>48'6"</u> | feet front | <u>75</u> | feet deep |
| At typical floor level | <u>48'6"</u> | feet front | <u>75</u> | feet deep |
| Height                 | <u>6</u>     | stories    | <u>60</u> | feet      |
- (6) CHARACTER OF CONSTRUCTION OF PRESENT BUILDING: ordinary  
[Frame, Ordinary or Fireproof]
- (7) STATE GENERALLY IN WHAT MANNER THE BUILDING WILL BE ALTERED:  
It is proposed to enclose the new toilet in cellar with air tight partitions and to install a 1'0"x3'0" window in store front to ventilate the said toilet room.





PLUMBING ELEVATION.

NEW LAW TENEMENT PLAN OF CELLAR.  
 N.E. COR. (301A) 5th STR. + (88-90) 2nd AVENUE.  
 MAN. N.Y. CITY.

BRUNO W. BERGER + SON,  
 ARCHITECTS  
 121 Bible House,  
 ASTOR PLACE, 3rd + 4th AVE,  
 MAN. N.Y. CITY.  
 SCALE 1/4" = 1'0" 4/13/17



# DEPARTMENT OF BUILDINGS

BOROUGH OF Manhattan, CITY OF NEW YORK

MANHATTAN  
Municipal Bldg.,  
Manhattan

BROOKLYN  
Municipal Bldg.,  
Brooklyn

BRONX  
Bronx County Bldg.,  
Grand Concourse & E. 161st St.,  
Bronx

QUEENS  
21-10 49th Avenue,  
L. I. City

RICHMOND  
Boro Hall  
St. George, S. I.

## PLUMBING

NOTICE—This application must be typewritten and filed in triplicate. All proposed work under this application must be shown on plans and section. All vertical lines of soil, waste, leader and refrigerator pipes should be designated by numbers or letters. A soil or waste line and its attendant vent line may be considered as one stack, and so numbered or lettered. In alterations, new work only should be specified. When new fixtures are to be connected to present lines, the location and diameter of said lines must be shown on the plan.

PERMIT No. \_\_\_\_\_ 19

**P. & D.** APPLICATION No. \_\_\_\_\_ 19

LOCATION 88-90 Second Avenue BLOCK 447 LOT 1  
301 East 5th Street, N.E. Cor WARD \_\_\_\_\_ VOL. \_\_\_\_\_  
*Feb 20*  
*[Signature]*

### SPECIFICATIONS

Number of buildings? One New or old buildings? Old Number of stories? 6

Cost \$ 500.

Dimensions of each building; 48'6" Ft. front, 48'6" Ft. rear, 75 Ft. deep, 68 Ft. high.

How to be occupied? Stores and Class A.M.D. (Tenement)

How will the sewage and drainage of the buildings be disposed of, if by other than a public sewer? \_\_\_\_\_

House sewers—State number for each building Now in Diameter \_\_\_\_\_ inches.

Material? \_\_\_\_\_ Fall per foot \_\_\_\_\_ inches.

House traps—Number? Now in Diameter \_\_\_\_\_ inches.

Fresh-air inlets—State number for each building Now in Diameter \_\_\_\_\_ inches.

Location of inlet? \_\_\_\_\_

House drains—Number for each building? Now in Diameter \_\_\_\_\_ inches. Fall per foot \_\_\_\_\_ inches.

Area, shaft, court and yard drains—Number? Now in Diameter \_\_\_\_\_ inches.

If floor, cellar or stall drains are to be installed, state location, number and method of maintaining the water seal in traps:

Material of soil, waste and vent-pipes? E.H.C.I.

Soil-lines—Number in each building? Now in Diameter \_\_\_\_\_ inches.

Waste-lines—Number in each building? \_\_\_\_\_ Diameter \_\_\_\_\_ inches.

Vent-lines—Number in each building Now on Diameter \_\_\_\_\_ inches.

Refrigerator waste-pipes—State number in each building \_\_\_\_\_ Diameter \_\_\_\_\_ inches.

Roof drainage—State number of outside leaders \_\_\_\_\_

Diameter \_\_\_\_\_ inches. Diameter of traps \_\_\_\_\_ inches.

State number and material of inside leaders Now in

Diameters \_\_\_\_\_ Diameter of traps \_\_\_\_\_ inches.

How will the floor and base of water-closet compartment be made water-proof Tile

Describe water-closets Porcelain Syphon Action Wash Down

Describe urinals \_\_\_\_\_



# DEPARTMENT OF BUILDINGS

## BOROUGH OF Manhattan, CITY OF NEW YORK

MANHATTAN  
Municipal Bldg.,  
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BROOKLYN  
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QUEENS  
21-10 49th Avenue,  
L. I. City

RICHMOND  
Boro Hall  
St. George, S. I.

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# AFFIDAVIT

PERMIT No. 244 193

P. & D. APPLICATION No. 244 193

N. B. } Plan No. 193  
ALT. }

LOCATION 88-90 Second Avenue BLOCK 447 LOT 1  
301 East 5th Street, N.E. Cor. WARD \_\_\_\_\_ VOL. \_\_\_\_\_

New York City, February 18th, 1936

To THE COMMISSIONER OF BUILDINGS:

Application is hereby made for approval of the plans and specifications herewith submitted, and made a part hereof, for the PLUMBING AND DRAINAGE of the building herein described,—with the understanding that if no work is performed hereunder within one year from the time of issuance this approval shall expire by limitation as provided by law; and the applicant agrees to comply with all the rules and regulations of the Department of Buildings for the Borough of Man. and with every other provision of law relating to this subject in effect at this date.

Work under this approval will not be commenced until a permit has been secured, application for which will be filed with the Commissioner of Buildings, accompanied by satisfactory evidence that compensation insurance has been obtained in accordance with the provisions of the Workmen's Compensation Law.

EXAMINED AND RECOMMENDED FOR APPROVAL ON Feb 21 1936

APPROVED \_\_\_\_\_ 193

[Signature]  
Examiner  
[Signature]  
Commissioner of Buildings, Borough of

STATE AND  
CITY OF NEW YORK, } ss.:  
COUNTY OF N.Y.

John H. Knubel  
Typewrite Name of Applicant.

being duly sworn, deposes and says: That he resides at Number 570-7th Avenue  
in the City of New York, in the County of New York  
in the State of New York, that he is Architect for 88-90 2nd Ave, Corp.  
owner in fee of all that certain lot, piece or parcel of land, shown on the diagram annexed hereto and made a part hereof, situate, lying and being in the Borough of Man., City of New York, aforesaid, and known and designated as Number 88-90 2nd Ave, 301 East 5th St, N.E. Cor. and hereinafter more particularly described; that the work proposed to be done upon the said premises, in accordance with the accompanying detailed statement in writing of the specifications and plans of such proposed work—including all amendments to the same which may be filed hereafter—is duly authorized to be performed by 88-90 Second Ave Corp.

(Name of Owner or Lessee)

and that John H. Knubel duly authorized by the aforesaid Owners to make application for the approval of such detailed statement of specifications and plans (and amendments thereto) in their behalf.

(Over)